

SBC 0001

6.33 hectares  
15.65 acres

263 total no of dwellings  
41.5 dwellings / hect



Mandale Phase 2 Regeneration  
Stockton-on-Tees

Haslam Homes, Barratt Newcastle  
and NomadE5

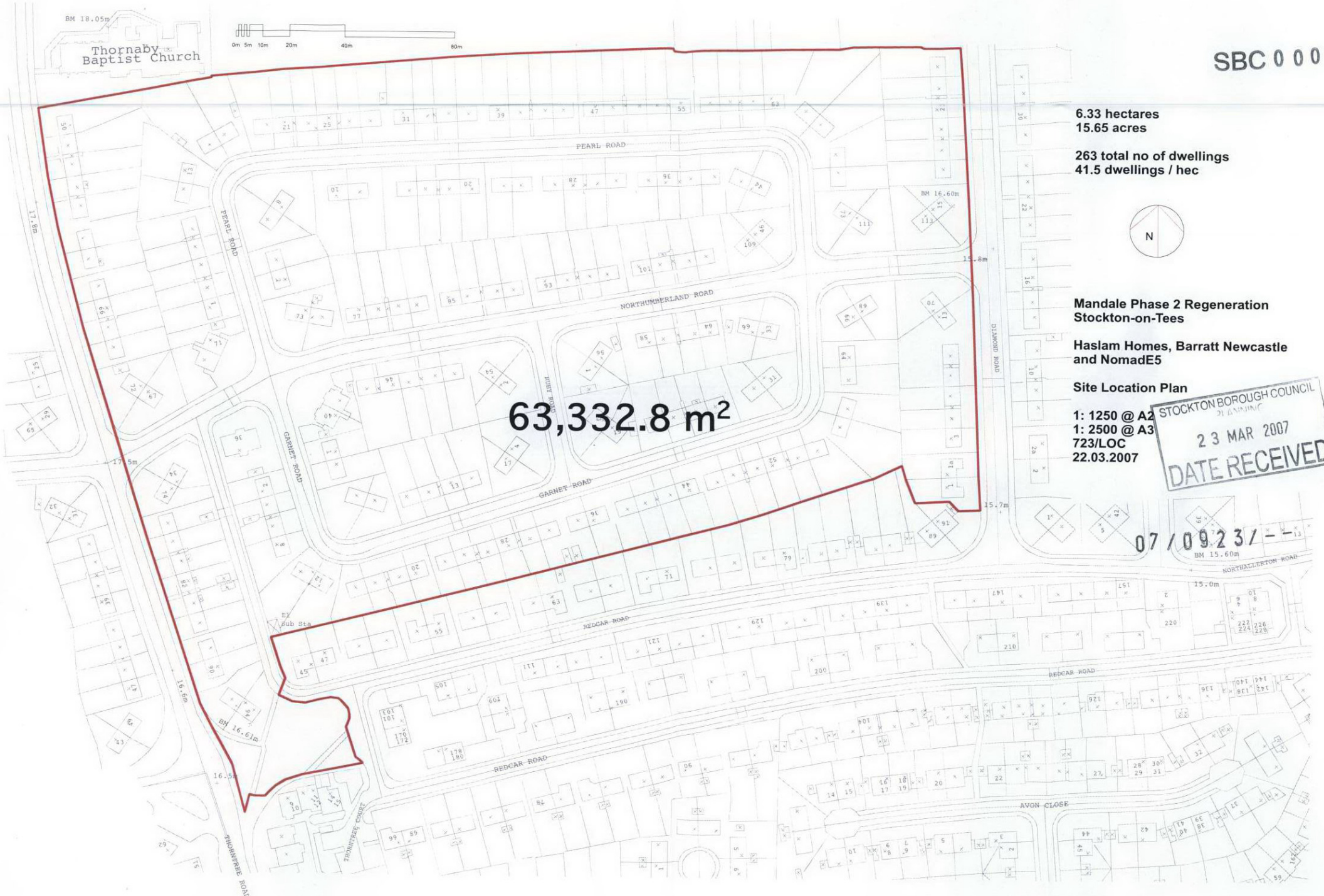
Site Location Plan

1: 1250 @ A2  
1: 2500 @ A3  
723/LOC  
22.03.2007



07/0923/ - - 13  
BM 15.60m

63,332.8 m<sup>2</sup>

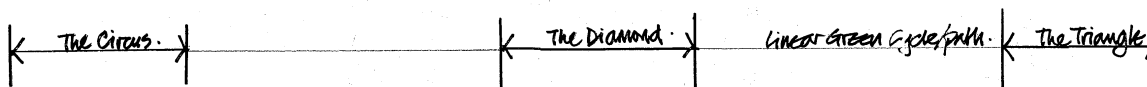


(07/0923/FUL) Mandale Phase 2 – Site Location Plan



Thimble Road.

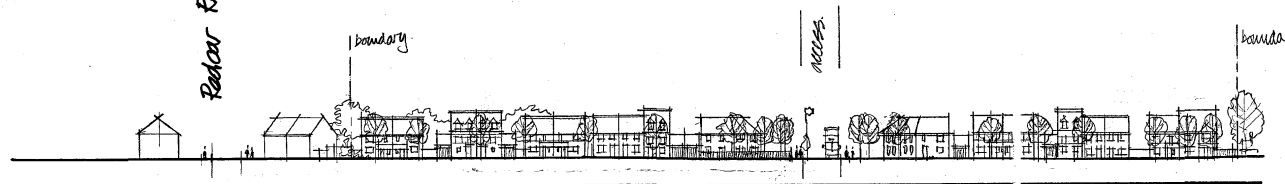
Diamond Rd.



exg houses Thimble Rd. exg road  
 pad beyond  
 entrance gateway plot 130  
 boulevard plots 141/142  
 The Circus open space plot 233  
 Boulevard of trees plots 236-258  
 1204 plots 233-242  
 The Diamond open space 1204 beyond plot 107  
 117 115 116  
 Green Corridor + bel. evad. 177 178 179  
 The Triangle open space plots 102/103 plot 202/2  
 access road  
 entrance gateway plot 206/107 Diamond Road exg houses  
 access road

Long Section through Site. 1:500  
looking north.

Redcar Road



exg houses Redcar Road (exg)  
 plots 142  
 1011 plots 8/4  
 see planning to named plots beyond  
 35N 665 1011 plot 9  
 808 canal turning plots 10/11  
 6.7m road bus lane  
 808 canal turning units 206/207  
 35N 208/9  
 104 665 211/2  
 35N 58/102N  
 23 214

Street Elevation facing Diamond Road 1:500  
looking west

Memorandum  
6.7m road bus lane  
The Triangle bound with Art Feature



Thimble Baptist Church + school field beyond.  
 Ipad Plots gateway to site plots 11-122  
 Woodcote beyond (1st part to plots (44)  
 35N 123/4  
 Sunby 125/6  
 KM 127-130  
 cycle path  
 OCCIDENTAL  
 2m path  
 2m path  
 Eskdale connector 94/95  
 Emb plot 96 97  
 35N 98/99  
 Woodcote 100 101  
 35N 102 103  
 Woodcote 104/105  
 35N 106/107  
 Gloucester 108  
 Camer tuning plots 03/110  
 Eskdale facing exg open space Redcar Rd behind.  
 exg houses beyond open space to tower

Street Elevation facing Thimble Road 1:500  
looking east.

ENTRANCE GATEWAY  
The Circus feature beyond + woodcote to plots 231/233

07/0923/11



Mandale Phase 2 Regeneration  
 Station - on 1865.  
 Haslam Homes, Bannat Newcastle + Nannad ES  
 Proposed Street Elevations  
 1:500  
 12.3/007  
 26.3.2007

NOTES

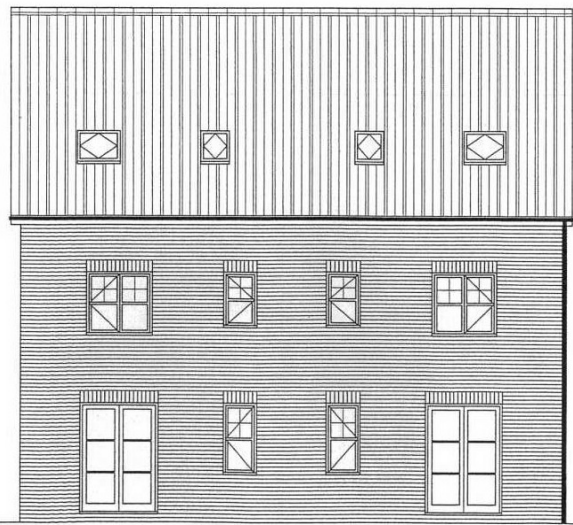


Front Elevation  
Scale 1:100

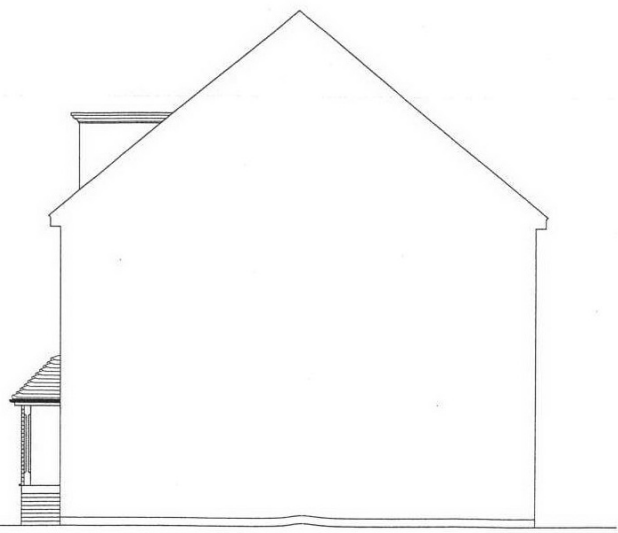
Side Elevation

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Rear Elevation



Part Side Elevation

Rev	Date	Description	Chkd	Verfd
Project MANDALE PHASE 2				
Client BARRATT HOMES				
Architect				
Scale		<b>CUNDALL</b> Consulting Engineers Horsley House, Regent Centre, Gosforth, Newcastle NE3 3LU Tel: (0191) 213 1515 Fax: (0191) 213 1701 E-mail Address: (initial.surname)/@cundall.com Website: www.cundall.com Offices across the U.K and Australia		
Date				
Drawn				
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Title WOODCOTE				
Stage	Drawing Number			Rev.

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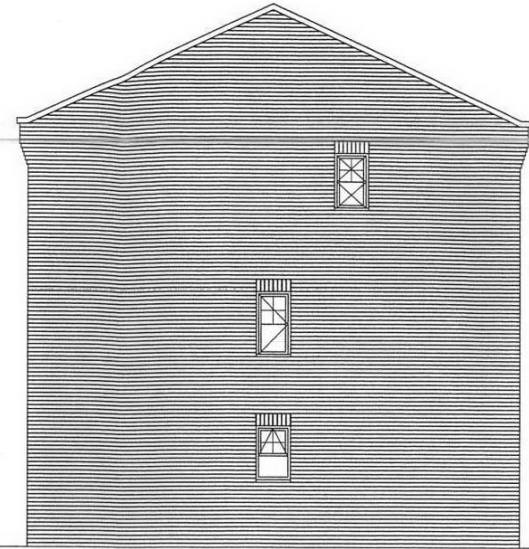
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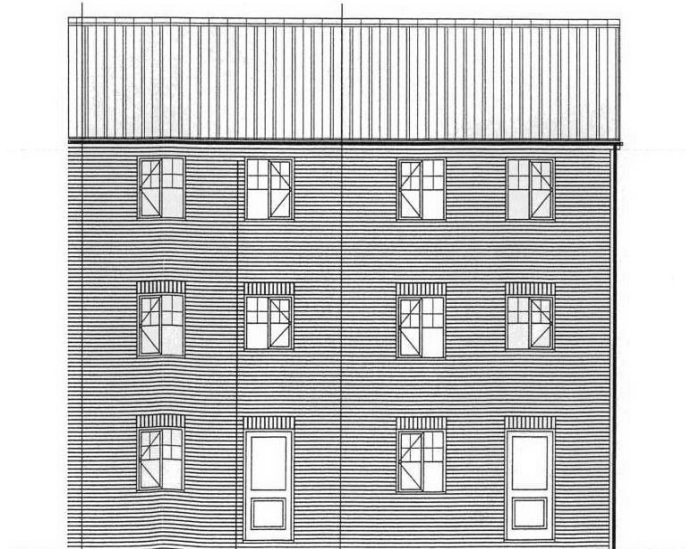


Front Elevation

Scale 1:100



Side Elevation



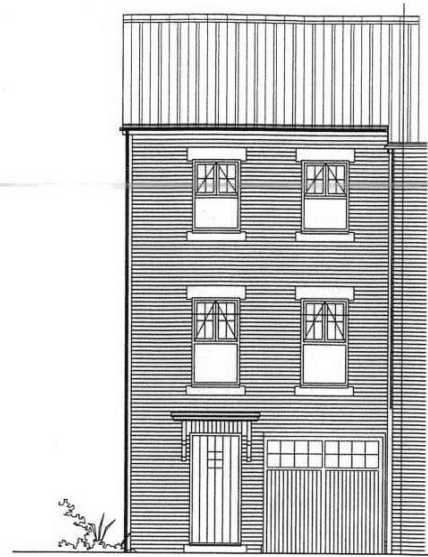
Rear Elevation

Rev	Date	Description	Chkd	Verfd
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MANDALE PHASE 2				
Client				
BARRATT HOMES				
Architect				
Scale				
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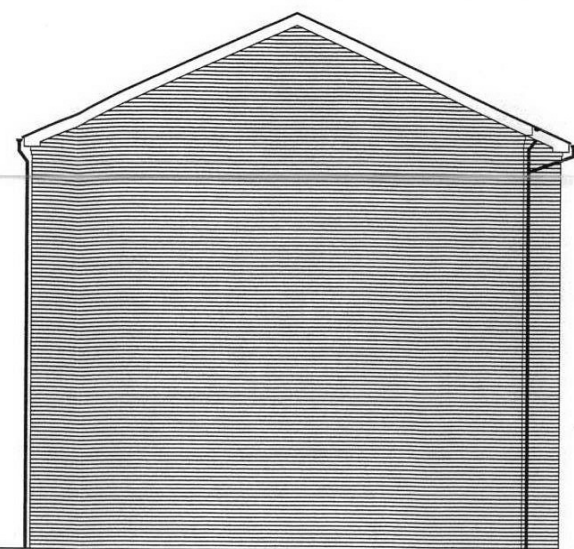
**CUNDALL**  
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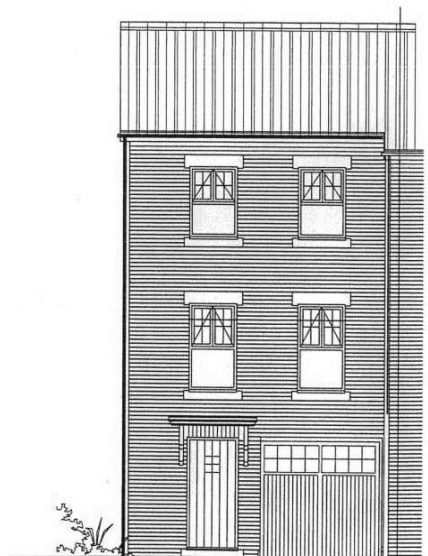
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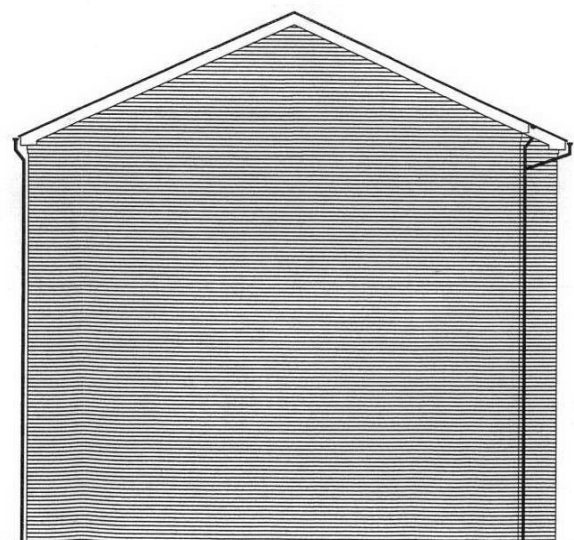
Front Elevation



Side Elevation



Front Elevation



Side Elevation

Scale 1:100

07/0923/---

Rev	Date	Description	Chkd	Verfd
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Project  
MANDALE PHASE 2  
Client  
BARRATT HOMES  
Architect

Scale	<p><b>CUNDALL</b> Consulting Engineers Horsley House, Regent Centre, Gosforth, Newcastle NE3 3LU Tel: (0191) 213 1515 Fax: (0191) 213 1701 E-mail Address: cundall.surname@cundall.com Website: www.cundall.com</p>
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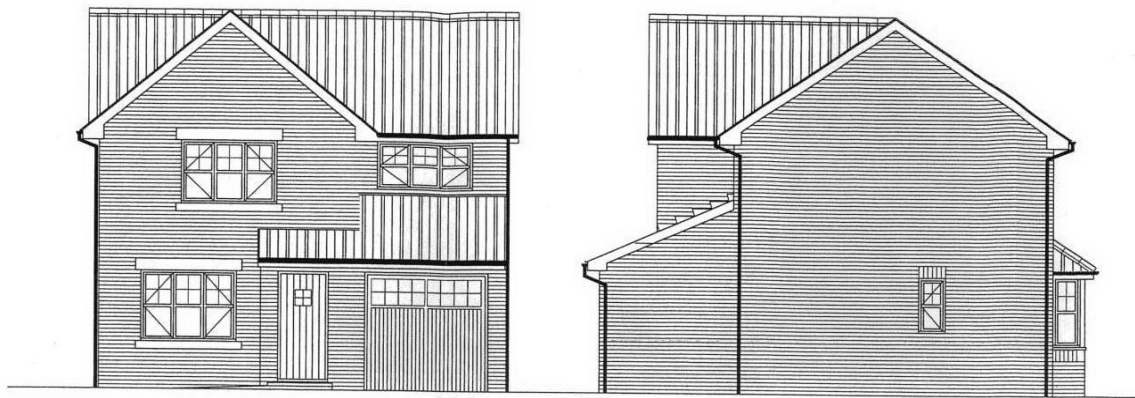
Offices across the U.K and Australia  
  
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Stage	Drawing Number	Rev.
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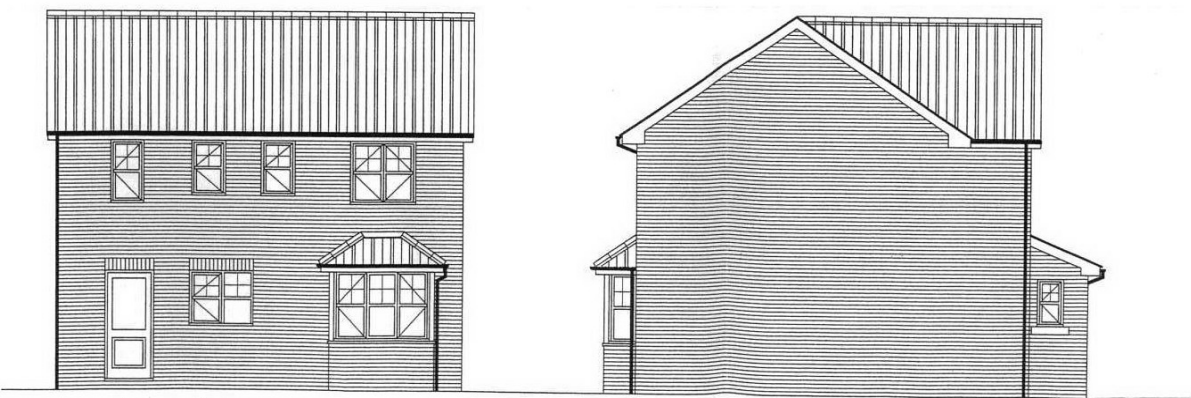
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Front Elevation  
Scale 1:100

Side Elevation 1



Rear Elevation

Side Elevation 1

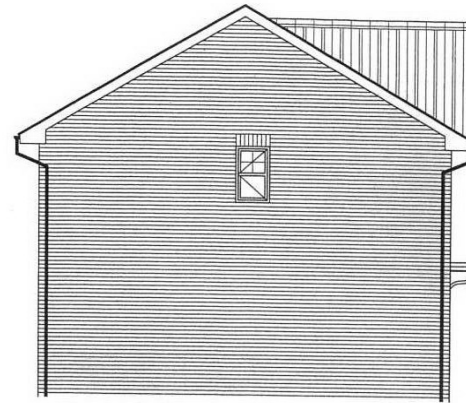
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Client BARRATT HOMES				
Architect				
Scale		<b>CUNDALL</b> Consulting Engineers Horsley House, Regent Centre, Gosforth, Newcastle NE3 3LU Tel: (0191) 213 1515 Fax: (0191) 213 1701 E-mail Address: (initial.surname)@cundall.com Website: www.cundall.com Offices across the U.K and Australia		
Date				
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Title DERWENT				
Stage	Drawing Number			Rev.

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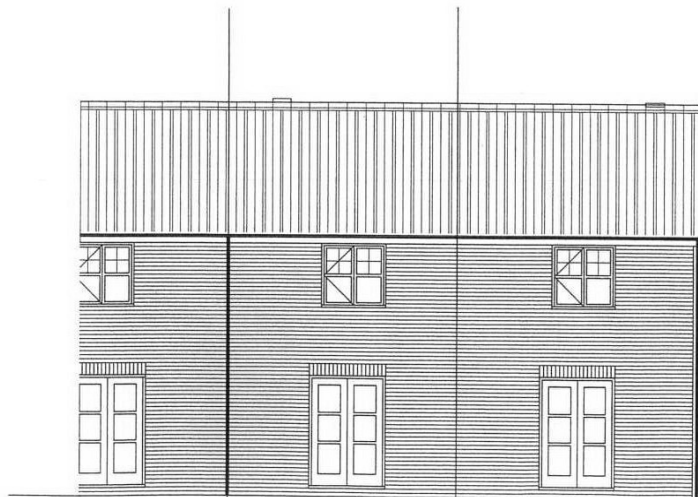
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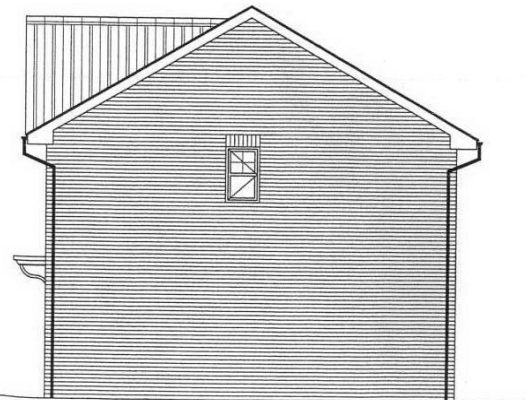
Front Elevation  
Scale 1:100



Side Elevation 1



Rear Elevation



Side Elevation 2

07/0923/--

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Project MANDALE PHASE 2				
Client BARRATT HOMES				
Architect				
Scale		<b>CUNDALL</b> Consulting Engineers Horsley House, Regent Centre, Gosforth, Newcastle NE3 3LU Tel: (0191) 213 1515 Fax: (0191) 213 1701 E-mail Address: (initials.surname)@cundall.com Website: www.cundall.com Offices across the U.K and Australia		
Date				
Drawn				
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Title WASHINGTON				
Stage	Drawing Number			Rev.

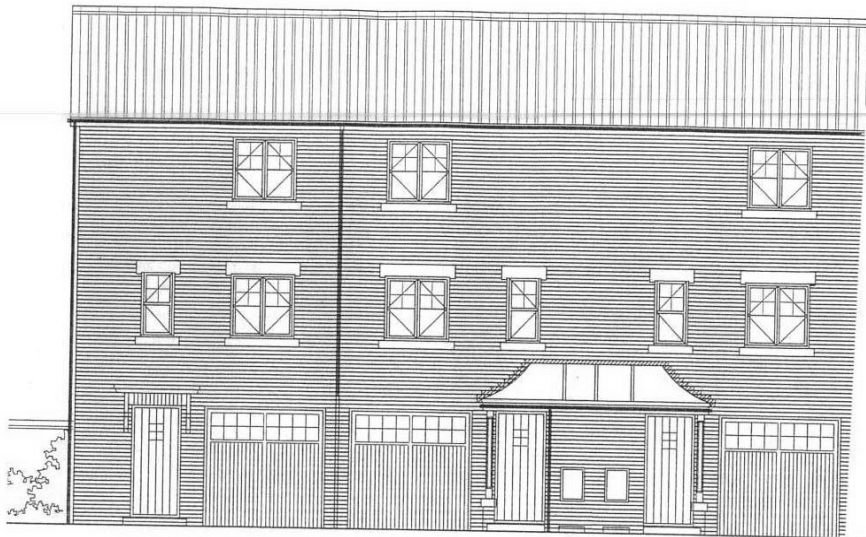


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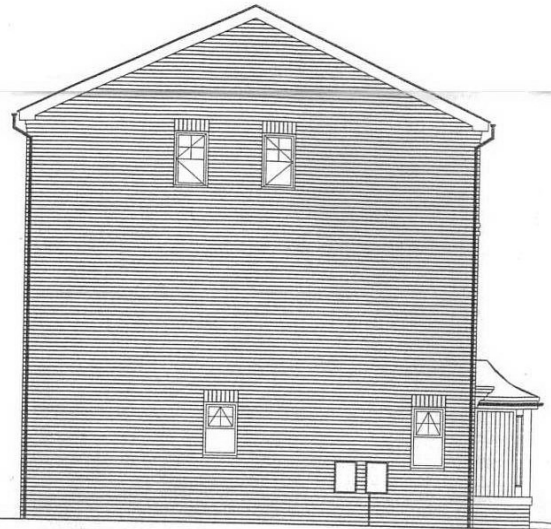
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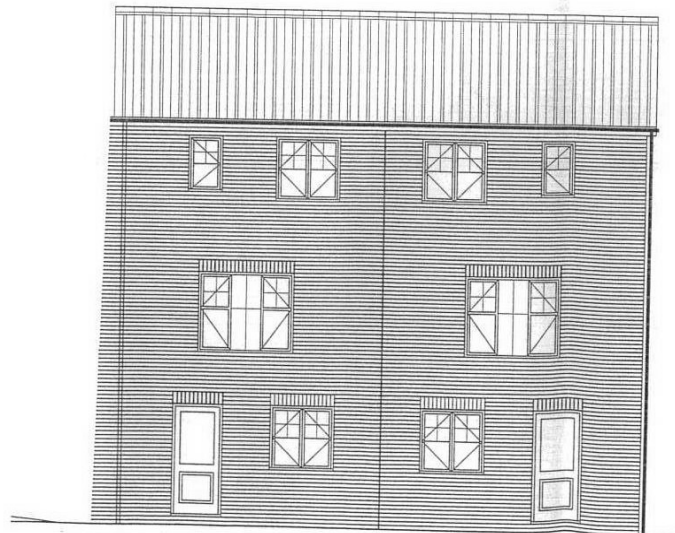
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Client BARRATT HOMES				
Architect				
Scale		<b>CUNDALL</b> Consulting Engineers Horsley House, Regent Centre, Gosforth, Newcastle NE3 3LJ Tel: (0191) 213 1515 Fax: (0191) 213 1701 E-mail Address: (initials).(surname)@cundall.com Website: www.cundall.com Offices across the U.K and Australia		
Date				
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Title SUTTON				
Stage	Drawing Number			Rev.



Front Elevation  
 Scale 1:100



Side Elevation



Rear Elevation

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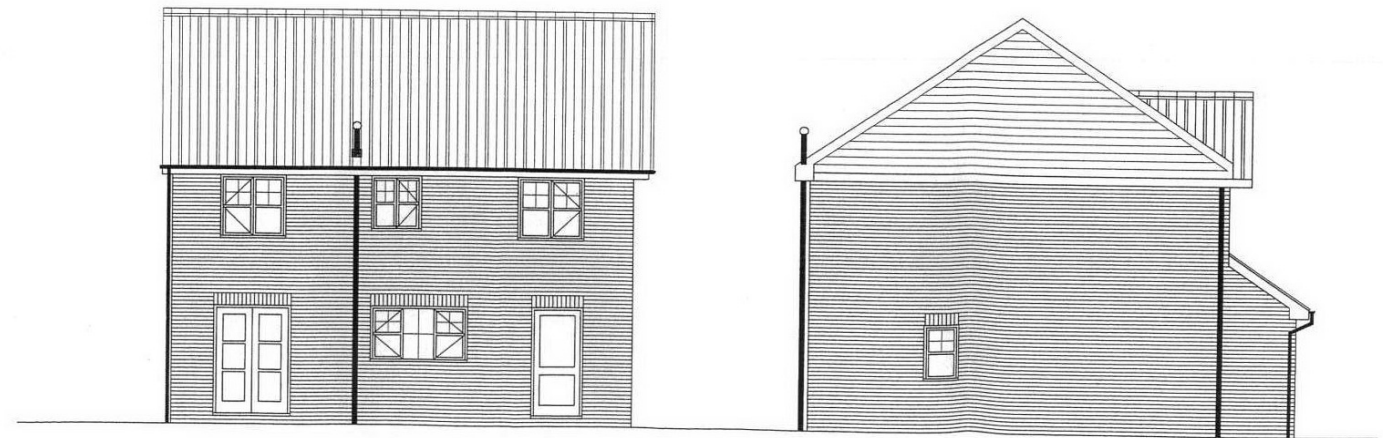
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Front Elevation  
 Scale 1:100

Side Elevation

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Rear Elevation

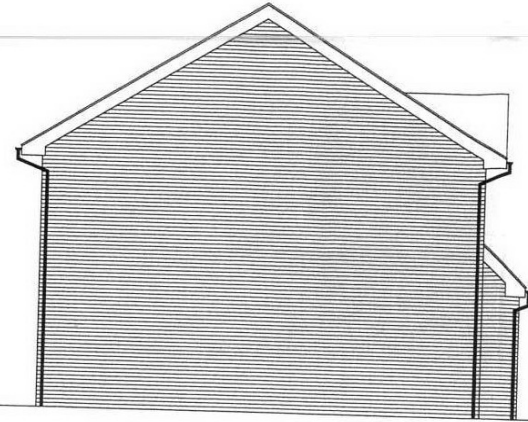
Side Elevation

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Client BARRATT HOMES				
Architect				
Scale		<b>CUNDALL</b> Consulting Engineers Horsley House, Regent Centre, Gosforth, Newcastle NE3 3LU Tel: (0191) 213 1515 Fax: (0191) 213 1701 E-mail Address: (initials.surname@cundall.com) Website: www.cundall.com Offices across the U.K and Australia		
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Stage	Drawing Number			Rev.

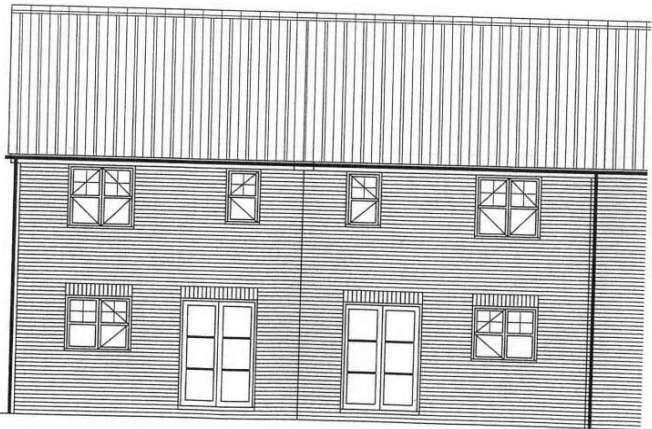
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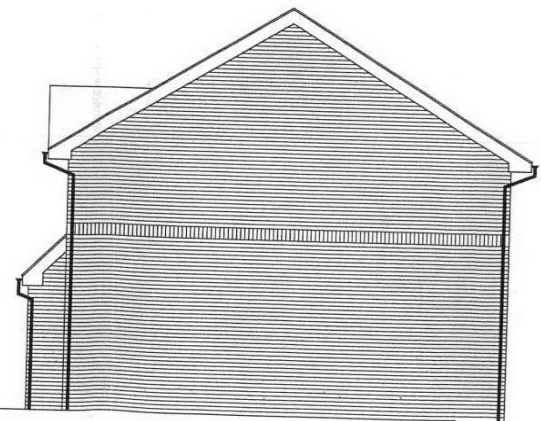
Front Elevation



Side Elevation



Rear Elevation



Side Elevation

Scale 1:100

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Rev	Date	Description	Chkd	Verfd
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MANDALE PHASE 2				
Client				
BARRATT HOMES				
Architect				
Scale				
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**CUNDALL**

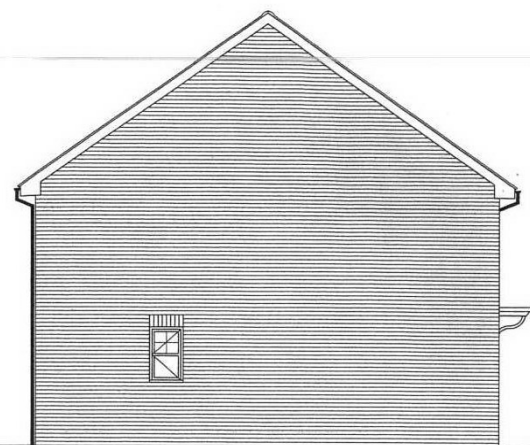
Consulting Engineers  
 Horsley House, Regent Centre,  
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Front Elevation



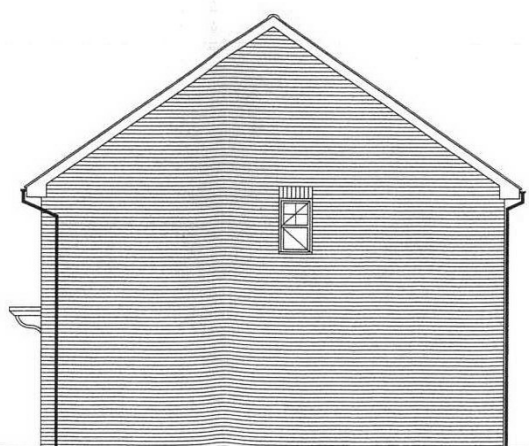
Side Elevation

Scale 1:100

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Rear Elevation



Side Elevation

Rev	Date	Description	Chkd	Verfd
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Project  
 MANDALE PHASE 2  
 Client  
 BARRATT HOMES  
 Architect

Scale  
 Date  
 Drawn  
 Checked  
 Verified

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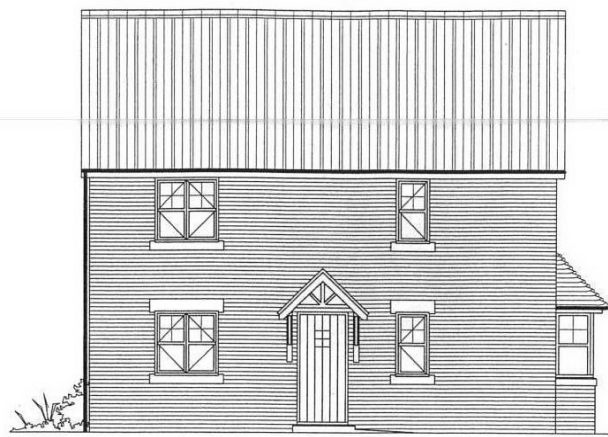
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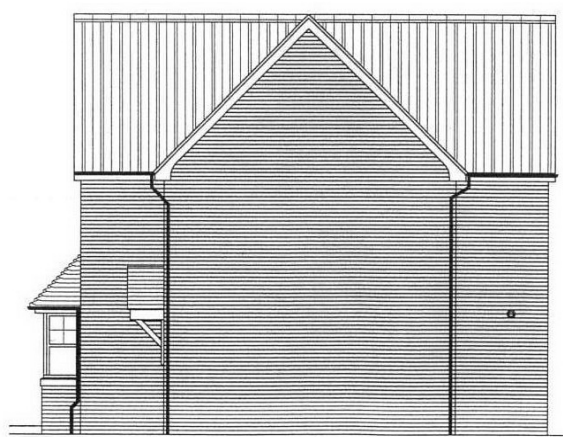
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ENBOURNE  
Side Elevation

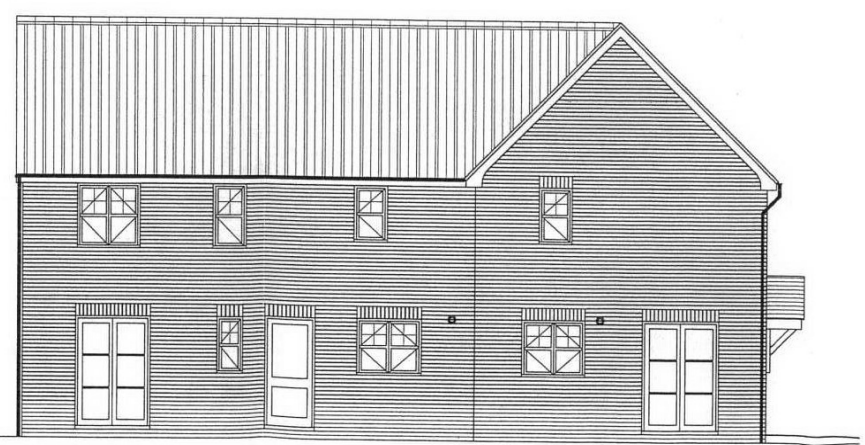


ENBOURNE                      ENDALE  
Front Elevation



ENDALE  
Side Elevation

Scale 1:100



ENDALE                      ENBOURNE  
Rear Elevation

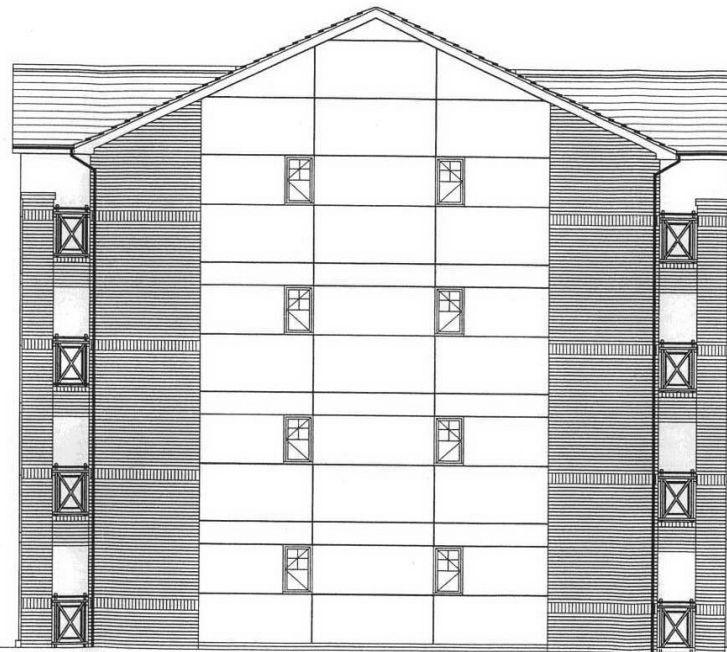
Rev	Date	Description	Chkd	Verfd
Project MANDALE PHASE 2				
Client BARRATT HOMES				
Architect				
Scale		<b>CUNDALL</b> Consulting Engineers Horsley House, Regent Centre, Gosforth, Newcastle NE5 3LU Tel: (0191) 213 1515 Fax: (0191) 213 1701 E-mail Address: (initial).(surname@cundall.com) Website: www.cundall.com Offices across the U.K and Australia		
Date				
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Verified		Title ENDALE		
Stage	Drawing Number		Rev.	

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Front Elevation



Side Elevation

Scale 1:100

07 / 0923 / --

Rev	Date	Description	Chkd	Verfd
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Project  
 MANDALE PHASE 2  
 Client  
 BARRATT HOMES  
 Architect

Scale	<b>CUNDALL</b> Consulting Engineers Horsley House, Regent Centre, Gosforth, Newcastle NE3 3LU Tel: (0191) 215 1515 Fax: (0191) 215 1701 E-mail: Address: (initials.surname@cundall.com) Website: www.cundall.com Offices across the U.K and Australia
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Title  
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Stage	Drawing Number	Rev.
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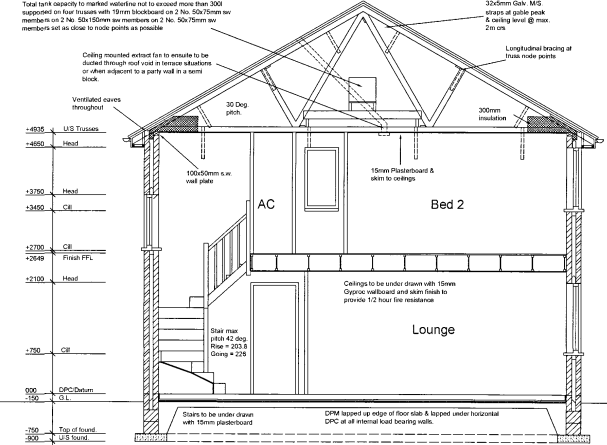
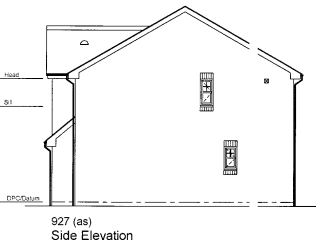
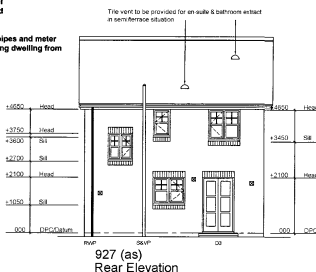
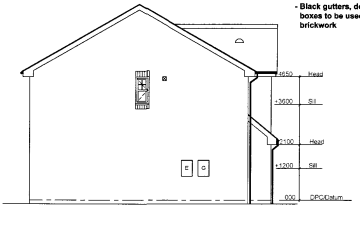
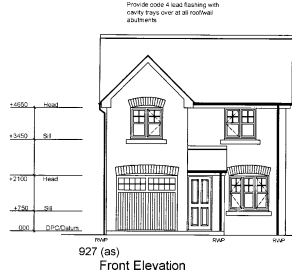




Colour and type of roof tile to Local Authority Approval.  
Colour and type of facing brick to Local Authority Approval.  
Colour of steel to external finish to Local Authority Approval.  
Provide code 4 lead flashings with cavity trays over all roofwall abutments.

**Notes:**  
Workmanship on site should ensure the following:  
- Down Pipes to be plastic  
- Short lengths of gutters to be level  
- 150mm max. lead flashing upstand

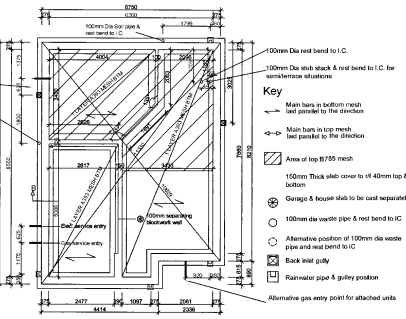
**Materials:**  
- Black gutters, downpipes, waste pipes and meter boxes to be used when constructing dwelling from brickwork



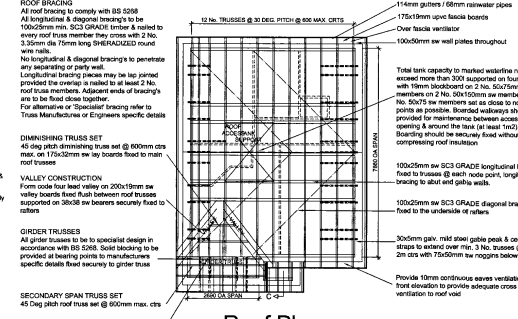
Section A 1:50 Foundation type & design to suite ground conditions CP2004 See engineers department for details of foundations

**STRIP FOUNDATIONS**  
150mm minimum thickness concrete strip foundations to provide 150mm minimum either side of supported wall.  
Provide 600mm minimum cover to foundations. Foundations to be taken down to a level below that of any adjacent foundations. Foundations to suit soil conditions to the satisfaction of the local Authority.  
**ALTERNATIVE FOUNDATIONS TO SPECIALIST DETAIL**  
100mm Dia rivet bed for waste service  
100mm Dia steel pipe & rest bed to I.C.  
Foundations to comply to Section A1/A3 Stability Part 6 of A2 with a min. cover in accordance with CP2004: 1975 BS 8110:1995.  
Provide FCC lined over pipes where they pass through walls.  
Ensure 1200g GPM is laid up sides of floor slab & returned under blockwork.  
Ensure 1200g GPM is laid up sides of floor slab & returned under blockwork.

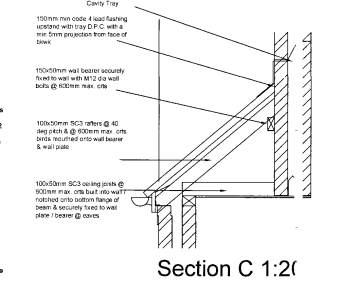
**Section B 1:20**  
To eliminate the use of site blocks to achieve covering, locate truss over floor slab string, ensuring 1200g GPM is topped up side of floor slab.  
When basic gas protection is required ensure CPM from underside of garage slab and ground floor slab are suitably lapped and sealed with the DPC. Refer to drawing no. H402/0232 for joining detail.



Foundation Layout

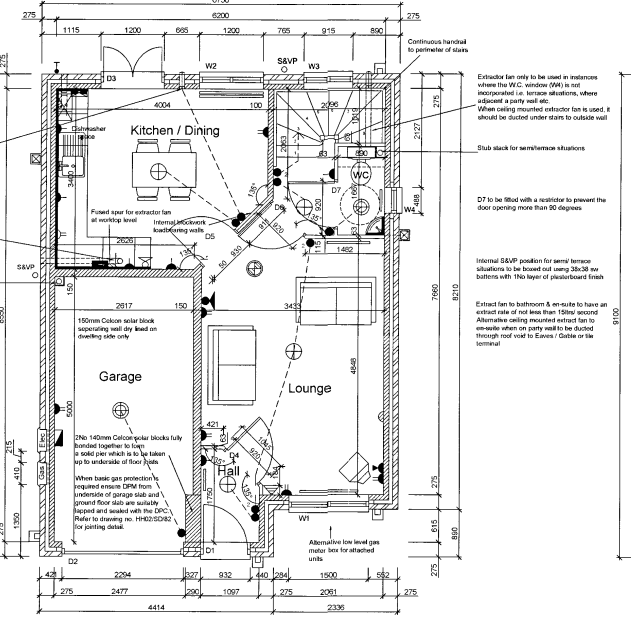


Roof Plan

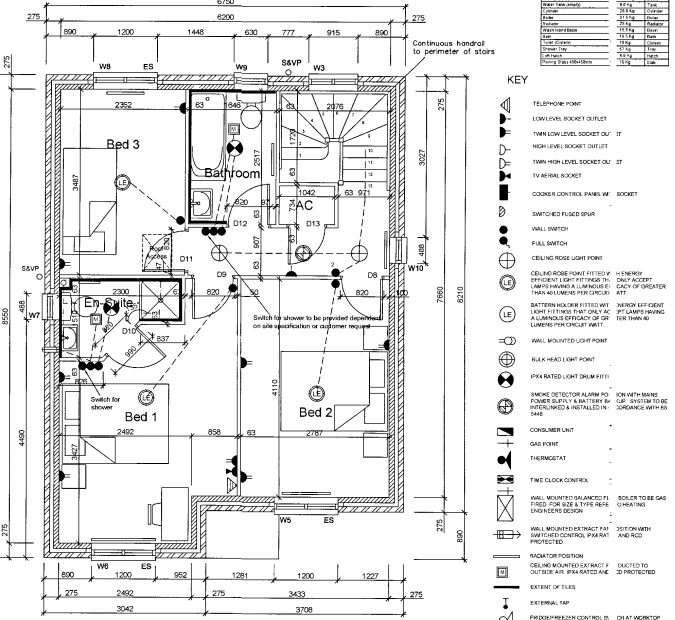


Section C 1:20

When basic gas protection is required ensure CPM from underside of garage slab and ground floor slab are suitably lapped and sealed with the DPC. Refer to drawing no. H402/0232 for joining detail.



Ground Floor Plan



First Floor Plan

**General Notes:**

All internal doors on ground floor except to store to be 21" to give a minimum clear opening of 800mm Refer to detail H402/SD/10  
All first floor doors to be 29" except sitting cupboard 23"  
All windows marked ES to full floor habitable rooms to be receive windows with a minimum unobstructed area that is at least 0.3m<sup>2</sup> and at least 450mm high and 400mm wide. The bottom of the open sash area should not be more than 1100mm above the floor.  
The top of all separating compartment walls (party walls) to be fire stopped with a minimum of one layer of 20mm thick mineral wool laid above and below window led.  
Alternative internal S/V/P position for terrace situations 100mm in S/V/P with an AAV and enclosed full height with 12.5mm plasterboard on 30x30mm sw framing in all cases.  
Where ceiling is at the end of a drainage run S/V/P to be ducted through roof void to ridge the vent REFER TO SITE SPECIFIC EXTERNAL WORKS DRAWINGS FOR DETAILS  
All exposed waste pipes to be boxed out using 60mm gyp on 30x30mm sw Framing  
Bathroom extract fans to have an extract rate of not less than 15m<sup>3</sup>/hour & have a minimum 15 minute overrun in terrace situations. Wall mounted extract fan to semi units, alternative ceiling mounted extract fan for terrace units - refer to site specification for extract fan types.  
Insulated cavity closures to all external reveals  
External walls to consist of 275mm cavity wall construction fully insulated with rigid cavity bats to comply with Building Regulations Part E 2003. Blockwork to cavity wall to have a minimum density of 1375 kg/m<sup>3</sup> with 5.5mm plasterboard on date or 13mm plaster fin.  
All intermediate floors to be under drawn with 15mm Gyproc wallboard with sabb trusses.  
All roof trusses to be @ 600mm c/c max. & fixed in accordance with BS 5298.  
Manufacture to check dimensions prior to fabrication.  
Provide diagonal & longitudinal bracing to trusses in accordance with BS 5298

**Thermal Notes:**

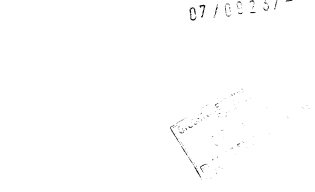
Dwelling to be fitted with a high efficiency band A boiler with minimum SEDBUCK rating of 90%  
External cavity walls to be insulated to give a 'U' value of 0.27 W/m<sup>2</sup>K  
Floors to be insulated with 25mm Jable flooring grade SD insulation  
Roof to be insulated with 300mm floor glass quilt to give a 'U' value 0.14 W/m<sup>2</sup>K  
Windows & French Doors to be double glazed with low E glass & 12mm air gap to give a 'U' value of 2.0 W/m<sup>2</sup>K  
Front access door to be insulated & have a 'U' value 1.57 W/m<sup>2</sup>K

**Thermal Bridging & Air Leakage**

The building specific will be constructed to adopt the recommendations in the report 'Thermal Construction Details' and 'Similar Buildings' to minimise the risk of cold bridging & air leakage.

**DO NOT SCALE**  
All dimensions to be checked on site and Architect to be notified of any discrepancies prior to commencement

**External Walls 1:20**

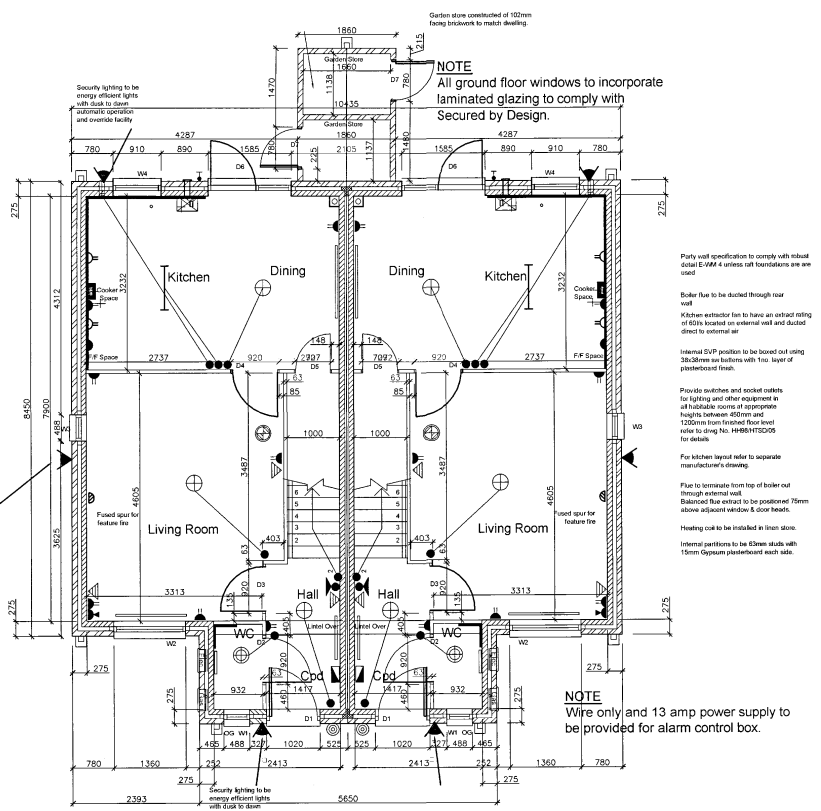


A 21 09 05 Extent of on-estate wall tiling reduced

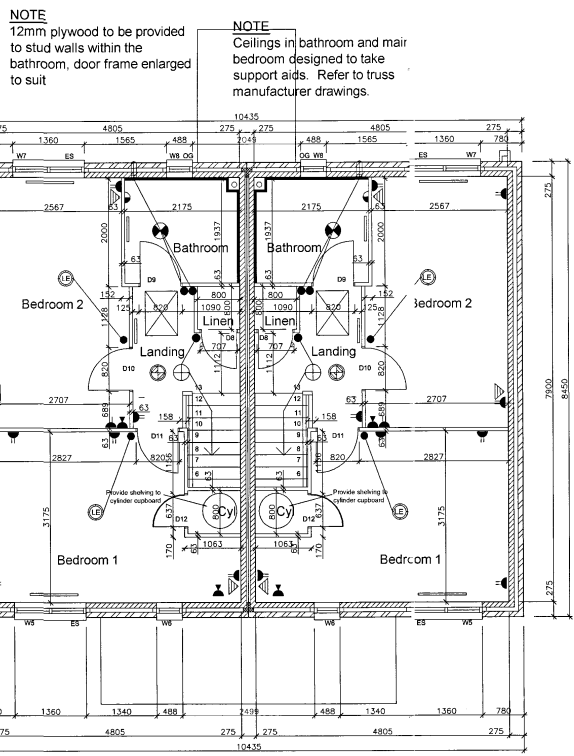
id	IAN DARBY PARTNERSHIP	
NORTHERN		
ST. JUDES, BARKER STREET, SHELDFIELD, NEWCASTLE UPON TYNE, NE2 1AS TEL (0191) 261 4442 FAX (0191) 261 1090 e-mail: info@idpartnership-northern.com		
JOB/CLIENT	Mandale, Stockton	
DRAWING TITLE	House Type 927 - Working Drawing (Mandale) Proposed Foundations, Plans, Elevations and Section	
PROJECT ARCHITECT	MM	DRAWN BY JMA
SCALE	1:100 / 1:50	PROJECT NO. N81:1414
DATE	Jan 2005	DRAWING NO. HWD927A
DRAW STATUS	DESIGN	CONSTRUCTION



NOT SCALE  
All dimensions to be checked on site and Architect to be notified of any discrepancies prior to commencement



Ground Floor Plan



First Floor Plan

**General Notes:**

All internal doors on ground floor except to store to be 2' 10" to give a minimum clear opening of 800mm. Refer to door manufacturer's drawings.

All first floor doors to be 2" except where upward 2"

All windows to first floor habitable rooms to be escape windows with a minimum unobstructed area that is at least 0.3m<sup>2</sup> and at least 450mm high and 400mm wide. The bottom of the openable area should not be more than 1100mm above the floor.

The top of all Separating Compartment walls (party walls) to be fire stopped with a minimum of one layer of 20mm thick mineral wool bed above and below sarking felt.

Alternative internal S&VP position for terraced situations 100mm of S&VP with an AAV and enclosed full height with 12.5mm plasterboard on 38.38mm new framing in all cases.

Where dwelling is at the end of a drainage run S&VP to be ducted through roof void to ridge or the vent. REFER TO SITE SPECIFIC EXTERNAL WORKS DRAWINGS FOR DETAILS.

All exposed waste pipes to be boxed out using 6mm ply on 38.38mm new framing.

Bathroom extract fans to have an extract rate of not less than 150m<sup>3</sup>/hour & have a minimum 15mm duct overrun in terraced situation. Wall mounted extract fan to suit units. Alternative ceiling mounted extract fan for terraced units. Refer to the specification for extract fan types.

All extract fans to be built up.

Wiring to be provided for burglar alarm system.

Insulated cavity cladding to all external reveals.

5mm Plasterboard dry lining on stable external walls. 12mm Plasterboard dry lining on stable party walls.

All roof trusses to be @ 800mm c/c max. & fixed in accordance with BS 5258.

Manufacturer to check dimensions prior to fabrication. Provide diagonal & longitudinal bracing to be trusses in accordance with BS 5258.

**Thermal Notes:**

Dwelling to be fitted with a high efficiency band A boiler with minimum SEDBUK rating of 90.

External cavity walls to be insulated to give a U' value of 0.23 W/m<sup>2</sup>K.

Floors to be insulated with 250mm Jablet flooring grade SD insulation.

Roof to be insulated with 300mm mineral wool quilt to give a U' value of 0.14 W/m<sup>2</sup>K.

Windows & French doors to be double glazed with low E glass & 12mm air gap to give a U' value of 2.3 W/m<sup>2</sup>K.

Front access door to be insulated & have a U' value 1.57 W/m<sup>2</sup>K.

**Thermal Bridging & Air Leakage**

The building fabric will be constructed to adopt the recommendations in the report 'Robust Construction Details for Dwellings & Similar Buildings' to minimise the risk of cold bridging & air leakage.

Party walls to receive Knauf Gypsum parg coat prior to dry lining.

**KEY**

- TELEPHONE POINT
- LOW LEVEL SOCKET OUTLET
- WALL MOUNTED SOCKET OUTLET
- HIGH LEVEL SOCKET OUTLET
- WALL MOUNTED SOCKET OUTLET
- TV AERIAL SOCKET
- COOKER CONTROL PANEL WITH SOCKET
- SWITCHES FUSED SPUR
- WALL SWITCH
- CEILING ROSE LIGHT POINT
- CEILING ROSE LIGHT POINT (HIDDEN)
- EXTRACT LIGHT FITTING THAT ONLY ACCEPTS LIGHT FITTINGS THAT ONLY ACCEPT LAMP TYPES AS LISTED PER EXTRACT UNIT
- EXTRACT LIGHT FITTING WITH HIDDEN EXTRACT LIGHT FITTINGS THAT ONLY ACCEPT LAMP TYPES AS LISTED PER EXTRACT UNIT
- WALL MOUNTED LIGHT POINT
- FLOURESCENCE LIGHT FITTING
- BLACKHEAD LIGHT EVENT
- IP RATED LIGHT (RAIN FITTING)
- OPTICAL SMOKE DETECTOR POSITION WITH MAINS POWER SUPPLY & BATTERY BACKUP. SYSTEM TO BE INSTALLED IN A SAFE LOCATION ACCORDING TO THE MANUFACTURER'S INSTRUCTIONS
- CONDUIT RUNNING
- CAD POINT
- THERMISTAT
- TIME CLOCK CONTROL
- WALL MOUNTED BALANCED FLUE SOLER TO BE GAS FIRED. SEE SIZE & TYPE FROM MANUFACTURER'S ENGINEERS DESIGN
- WALL MOUNTED EXTRACT FAN POSITION WITH BATTERY CONTROL. IP RATED. RAIN PROTECTED
- EXTRACT POSITION
- CEILING MOUNTED EXTRACT FAN POSITION TO OUTLOOK AIR. SHARDED AND RISE PROTECTED
- EXTENSION PIPES
- EXTENSION LAP
- DOOR BELL WITH CHIME IN HALLWAY AND LIVING ROOM
- SHOWER SOCKET

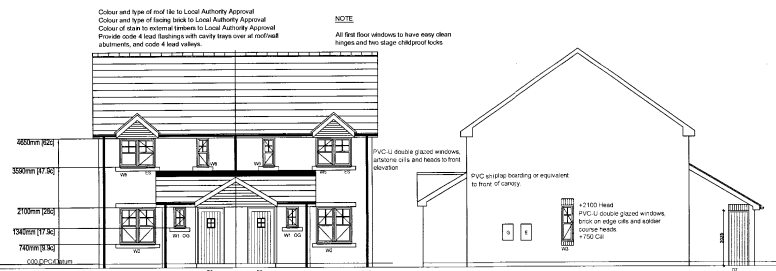
**Thermal Bridging & Air Leakage**

The building fabric will be constructed to adopt the recommendations in the report 'Robust Construction Details for Dwellings & Similar Buildings' to minimise the risk of cold bridging & air leakage.

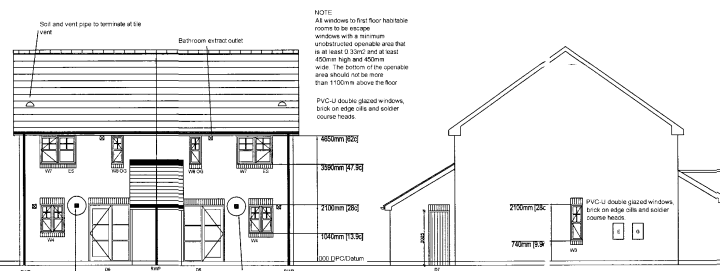
Party walls to receive Knauf Gypsum parg coat prior to dry lining.

**N.B. WHERE HOUSE TYPES ARE CONSTRUCTED IN TIMBER FRAME, ENSURE THAT SOCKET OUTLETS ARE NOT INSTALLED BACK TO BACK ON PARTY WALLS. THIS APPLIES ALSO TO INTERNAL PARTITIONS TO AVOID SOUND TRANSMISSION**

**IN INSTALLED BUILT HOUSE TYPES, ENSURE THAT SOCKETS ARE NOT INSTALLED BACK TO BACK ON INTERNAL LIGHTWEIGHT PARTITIONS TO AVOID SOUND TRANSMISSION**



REFER TO MAIN ELEVATION TYPE DRAWING FOR DETAILS



Front Elevation, Side Elevation, Rear Elevation, Side Elevation

REVISION	DATE	DESCRIPTION	CHECKED
K	25/10/05	Garden store fascia board to rear elevation revised to match section	GD
J	19/10/05	Garden store revised in accordance with clients request	GD
H	26/09/05	Window cill dimension dropped one course to match elevation.	DS
G	08/09/05	Canopy overhang reduced, Door threshold amended, phoned for bathroom revised to 12mm thick	JJA
F	21/03/05	Canopy overhang reduced, Door threshold amended, phoned for bathroom revised to 12mm thick	JJA
E	17/03/05	Canopy overhang reduced, Door threshold amended, phoned for bathroom revised to 12mm thick	JJA
D	14/03/05	Shower socket to bathroom, Water service entry to be in w.c. Door frame-hold amended	JJA
C	10/03/05	General update following comment from Madam Thomas	JJA
B	17/02/05	External walls reduced to 275mm, external room dimensions increased to suit, Internal partitions reduced to 60mm timber stud	JJA
A	10/02/05	First floor windows and roof revised by one brick course. Canopy added to entrance and roof truss layout. Door h/d amended to short and narrow.	JJA

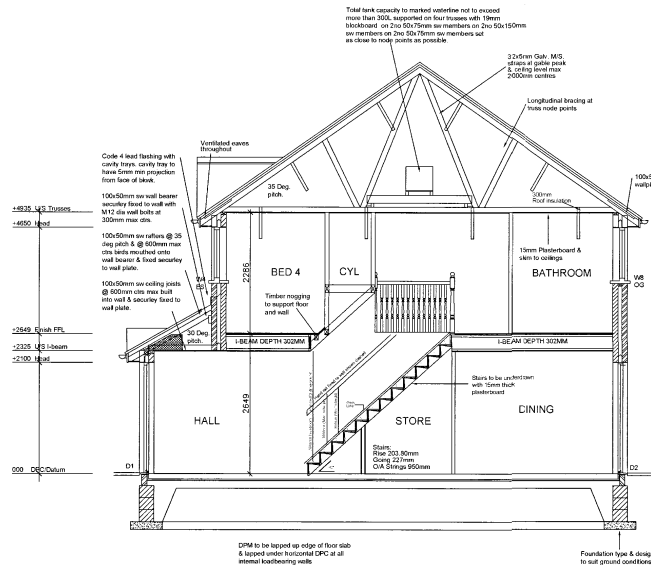
**idp PARTNERSHIP**  
IAN DARBY PARTNERSHIP  
**NORTHERN**

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JOB CLIENT <b>MANDALE REDEVELOPMENT STOCKTON</b>			
DRAWING TITLE <b>WORKING DRAWING 1 HOUSE TYPE A</b>			
PROJECT ENG/ARCH <b>MM</b>	DRAWN BY <b>JMA</b>	CHECKED	
SCALE <b>1/50</b>	PROJECT NO <b>N81-1414</b>	DRAWING NO <b>NWD_A01.K</b>	
DATE <b>JAN 05</b>			
DRAW STATUS	DRAFT	CONSULTATION	TENDER
		CONSTRUCTION	RECORD

DO NOT SCALE  
All dimensions to be checked on site and Architect to be notified of any discrepancies prior to commencement

NOTE  
All windows to first floor habitable rooms to be escape windows with a minimum unobstructed openable area that is at least 0.29m<sup>2</sup> and at least 600mm high and 400mm wide. The bottom of the openable area should not be more than 1100mm above the floor



SECTION A-A 1:50

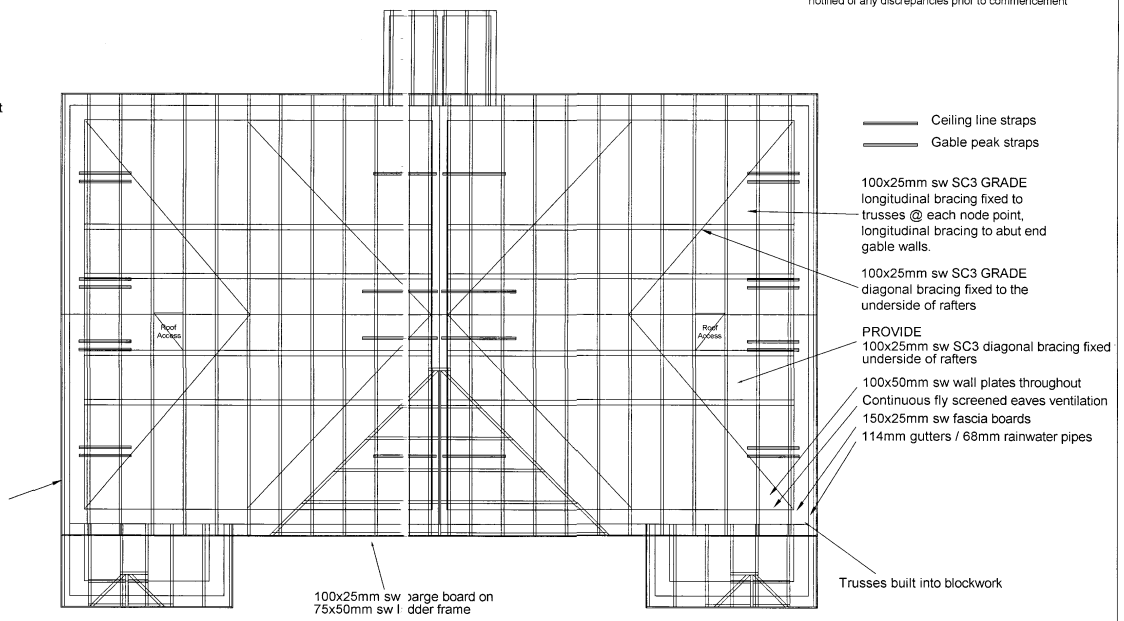
**FIRE STOPPING**  
The top of all separating/compartiment walls (party walls) to be fire stopped with a minimum layer of 25mm thick mineral laid above and below sarking felt

**ROOF BRACING**  
All roof bracing to comply with BS 5268  
All longitudinal & diagonal bracing's to be 100x25mm min. SC3 GRADE timber & nailed to every roof truss member they crosses with 2 No. 3.35mm dia 75mm long SHERADIZED round wire nails.  
No longitudinal & diagonal bracing's to penetrate any separating or party wall.  
Longitudinal bracing pieces may be lap jointed provided the overlap is nailed to at least 2 No. roof truss members. Adjacent ends of bracing's are to be fixed close together.  
For alternative or 'Specialist' bracing refer to Truss Manufacturers or Engineers specific details

**ROOF TRUSSES - GENERAL NOTE**  
All roof trusses to be @ 600mm crs max. & fixed in accordance with BS 5268  
Manufacturer to check dimensions prior to fabrication.  
Provide diagonal & longitudinal bracing's to trusses in accordance with BS 5268.

32x25mm galv. mild steel gable peak & ceiling line straps to extend over min. 3 No. trusses @ max. 2m ctrs with 75x50mm sw noggins below

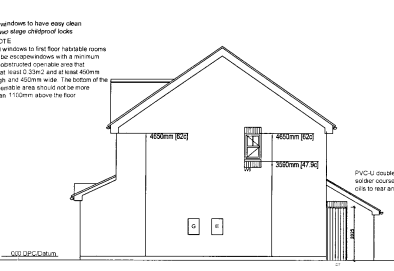
**VALLEY CONSTRUCTION**  
Form code 4 lead valley on 200x19mm sw valley boards fixed flush between roof trusses supported on 38x38mm sw bearers securely fixed to rafters



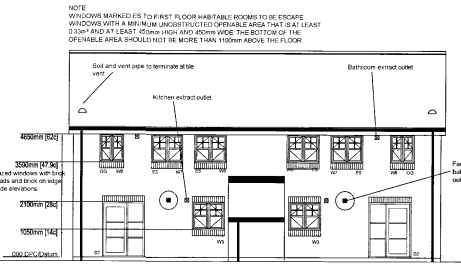
Roof Truss Plan



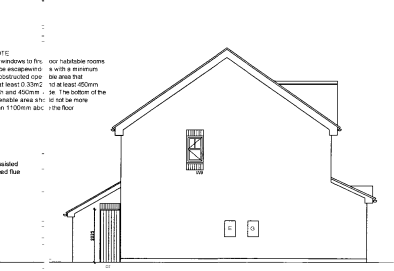
Front Elevation 1:100



Side Elevation 1:100



Rear Elevation 1:100



Side Elevation 1:100

REFER TO MAIN ELEVATION TYPE DRAWING FOR DETAILS

07/09/23/1-10  
DATE RECEIVED  
23 MAR 2023

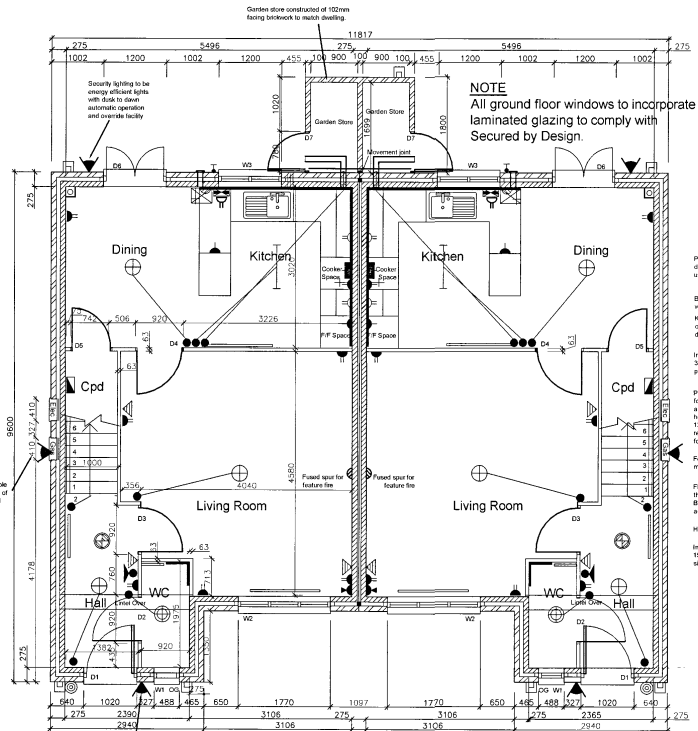
REVISION	DATE	DESCRIPTION	CHECKED
K	20/10/05	Garden stone elevations revised	CD
J	21/09/05	Truss, window head & cell heights revised to suit elevations	CD
H	08/06/05	Porch canopy altered, door threshold amended, water sensor entry altered, porch interspaces changed, plywood to bathroom reduced to 12mm thick.	JVA
G	18/05/05	Window sill recessed to 1200mm wide	JVA
F	21/03/05	Note vel. water sensor added, partitions uninsulated. Canopy projection reduced	JVA
E	17/03/05	Water sensor below kitchen sink. Canopy heights added. First floor ceiling height reduced by 75mm.	JVA
D	14/03/05	Shower socket for bathroom. Water sensor entry to be in store. Door threshold amended	JVA
C	10/03/05	General update following comment from Nicola Thomas	JVA
B	17/02/05	External walls reduced to 275mm, internal room dimensions increased to suit. Internal partitions reduced to 62mm timber studs	JVA
A	10/01/05	First floor windows and roof raised by one brick course. Canopy added to entrance and soil base layout. Door 42 amended to door and screen.	JVA

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IAN DARBY PARTNERSHIP  
NORTHERN

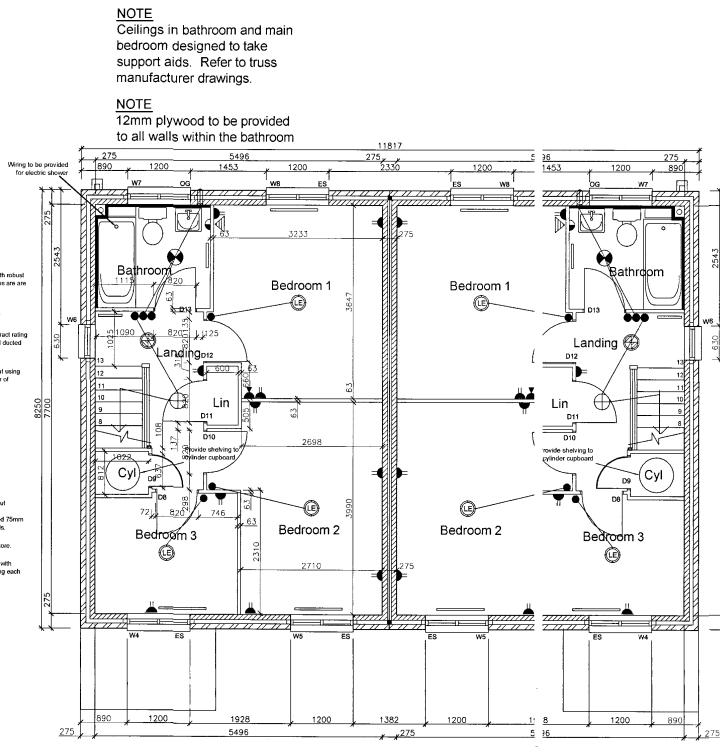
ST. JUDES, BARKER STREET, SHELDONFIELD, NEWCASTLE UPON TYNE, NE2 1AS  
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JOB CLIENT <b>MANDALE REDEVELOPMENT STOCKTON</b>			
DRAWING TITLE <b>WORKING DRAWING 2 HOUSE TYPE B</b>			
PROJECT LOCATION	CLIENT NAME	DESIGNER NAME	CHECKED
SCALE 1:50, 1:100	PROJECT NO. N81-1414	DRAWING NO. NWD_B/02K	
DATE JAN 05			
DRAW STATUS	DRAFT	CONSULTATION	TAKER
		CONSTRUCTION	RECORD

DO NOT SCALE  
All dimensions to be checked on site and Architect to be notified of any discrepancies prior to commencement



**Ground Floor Plan**  
**NOTE**  
Wire only and 13 amp power supply to be provided for alarm control box.



**First Floor Plan**

**General Notes:**

All internal doors on ground floor except to store to be 2' 10" to give a minimum clear opening of 800mm. Refer to detail H-60/H-70/D10.

All first floor doors to be 2" extra airing cupboard 23".

All windows to first floor habitable rooms to be escape windows with a minimum unobstructed area that is at least 0.33m² and at least 450mm high and 450mm wide. The bottom of the openable area should not be more than 1100mm above the floor.

The top of all Separating/Compartment walls (party walls) to be fire stopped with a minimum of one layer of 25mm thick mineral wool laid above and below ceiling level.

Alternative internal SVP position for terraced situations 100mm Ø SVP with an AVV and enclosed full height with 12.5mm plasterboard on 38x38mm sw framing in all cases.

Where ceiling is at the end of a drainage run SVP to be ducted through roof void to ridge or to vent. REFER TO SITE SPECIFIC EXTERNAL WORKS DRAWINGS FOR DETAILS.

All exposed waste pipes to be boxed out using 50mm ply on 38x38mm sw framing.

Bathroom extract fan to have an extract rate of not less than 150m³/hr and a minimum 15-minute overrun in terraced situation. Wall mounted extract fan to vent units, alternative ceiling mounted extract fan for terraced units - refer to site specification for extract fan types.

All extract fans to be hung square.

Wiring to be provided for burglar alarm system.

Insulated cavity closure to all external reveals.

9.5mm Plasterboard dry lining on data to external walls. 12.5mm Plasterboard dry lining on data to party walls.

All roof trusses to be @ 800mm c/c max. & fixed in accordance with BS 5268.

Manufacturer to check dimensions prior to fabrication. Provide diagonal & longitudinal bracing to trusses in accordance with BS 5268.

**Thermal Notes:**

Dwelling to be fitted with a high efficiency band A boiler with minimum SEDBUK rating of 90.

External cavity walls to be insulated to give a U' value of 0.27 W/m²K.

Floors to be insulated with 25mm Jable flooring grade SO insulation.

Roof to be insulated with 300mm fibre glass quilt to give a U' value of 0.14 W/m²K.

Windows & French Doors to be double glazed with low E glass & 12mm air gap to give a U' value of 2.3 W/m²K.

Front access door to be insulated & have a U' value of 1.57 W/m²K.

**Thermal Bridging & Air Leakage**

The building fabric will be constructed to adopt the recommendations in the report 'Robust Construction Details for Dwellings & Similar Buildings' to minimise the risk of cold bridging & air leakage.

Party walls to receive Knauf Gypsol surge coating prior to dry lining.

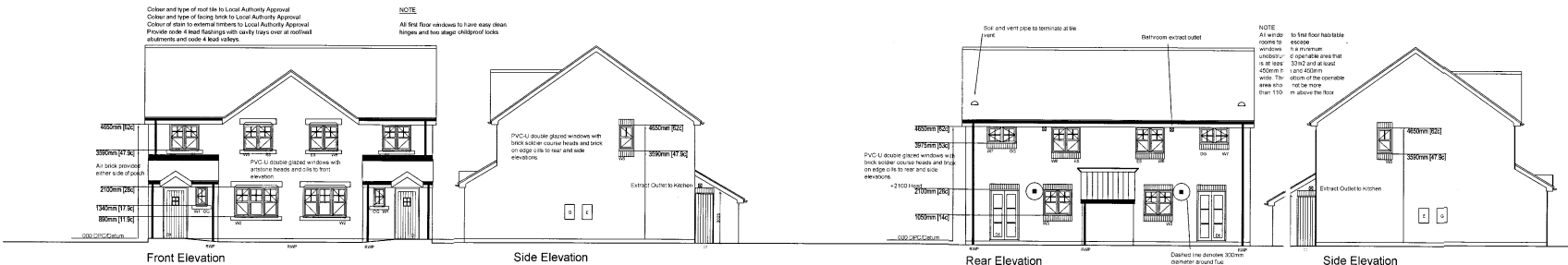


N.B. WHERE HOUSE TYPES ARE CONSTRUCTED IN TIMBER FRAME, ENSURE THAT SOCKET OUTLETS ARE NOT INSTALLED BACK TO BACK ON PARTY WALLS. THIS APPLIES ALSO TO INTERNAL PARTITIONS TO AVOID SOUND TRANSMISSION.

IN TRADITIONAL BUILT HOUSE TYPES, ENSURE THAT SOCKETS ARE NOT INSTALLED BACK TO BACK ON INTERNAL LIGHTWEIGHT PARTITIONS TO AVOID SOUND TRANSMISSION.



REVISION	DATE	DESCRIPTION	CHECKED
L	25/10/05	Garden stone roof abutments to side elevations trimmed to match rear elevation	CO
K	20/10/05	Garden stone revised	CO
J	23/04/05	More dimensions added to garden stone on ground floor plan	DS
H	01/08/05	Bathroom window updated, sill height raised to 397.5mm	DS
G	08/06/05	Carry wall dimension amended, porch canopy overhang altered, door threshold altered, glass panel to bathroom revised to 12mm thick.	JJA
F	21/03/05	Carry wall dimension amended, porch canopy overhang altered, door threshold altered, glass panel to bathroom revised to 12mm thick.	JJA
E	17/03/05	Carry wall dimension amended, porch canopy overhang altered, door threshold altered, glass panel to bathroom revised to 12mm thick.	JJA
D	14/03/05	Shower socket to bathroom. Water service entry to be in place. Door threshold amended.	JJA
C	10/03/05	General update following comment from Robust Builders.	JJA
B	17/02/05	External walls reduced to 275mm, internal room dimensions amended to suit. Internal partitions reduced to 60mm timber studs.	JJA
A	10/02/05	First floor windows and roof raised by one brick course. Canopy added to entrance and roof truss layout. Door @ amended to floor and screen.	JJA



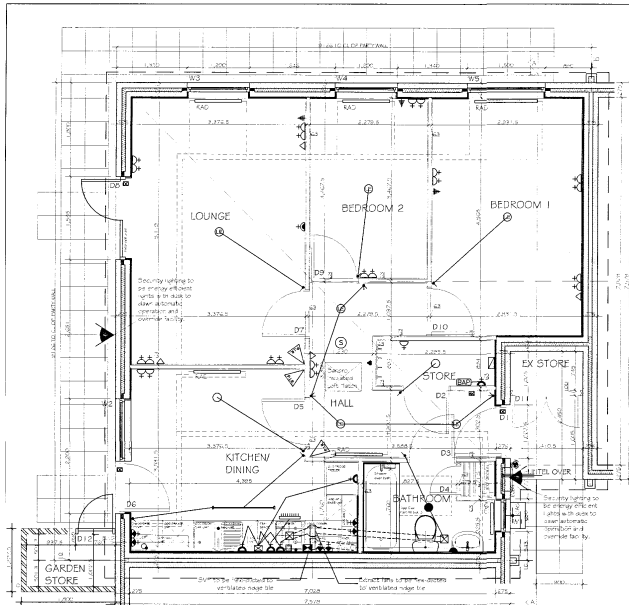
**REFER TO MAIN ELEVATION TYPE DRAWING FOR DETAILS**

**idp PARTNERSHIP**  
IAN DARBY PARTNERSHIP  
NORTHERN

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TEL (0191) 261 4442 FAX (0191) 261 1050 e-mail - info@idpartnership-northern.com

JOB CLIENT	MANDALE REDEVELOPMENT STOCKTON
DRAWING TITLE	WORKING DRAWING I HOUSE TYPE C
PROJECT ARCHITECT	MJM
DATE	JAN '05
PROJECT NO	N81-1414
DRAWING NO	NWD-C/01 L
DRAWING STATUS	DRAW
CO-ORDINATION	TECH
CONSTRUCTION	RECORD

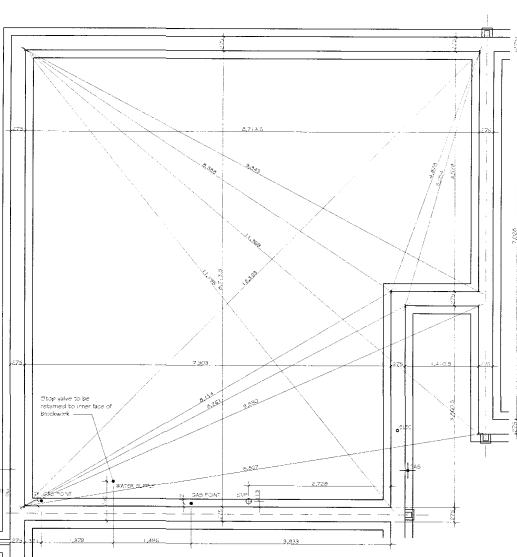
DO NOT SCALE  
All dimensions to be checked on site and Architect to be notified of any discrepancies prior to commencement



Ground Floor Plan @ 1:50  
Internal Floor Area :67.77m<sup>2</sup>  
External Store :1.03m<sup>2</sup>  
Total :68.80m<sup>2</sup>



Foundation Plan @ 1:50



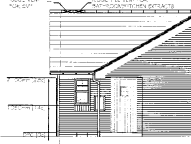
Roof Plan @ 1:50



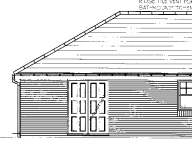
Front Elevation @ 1:100



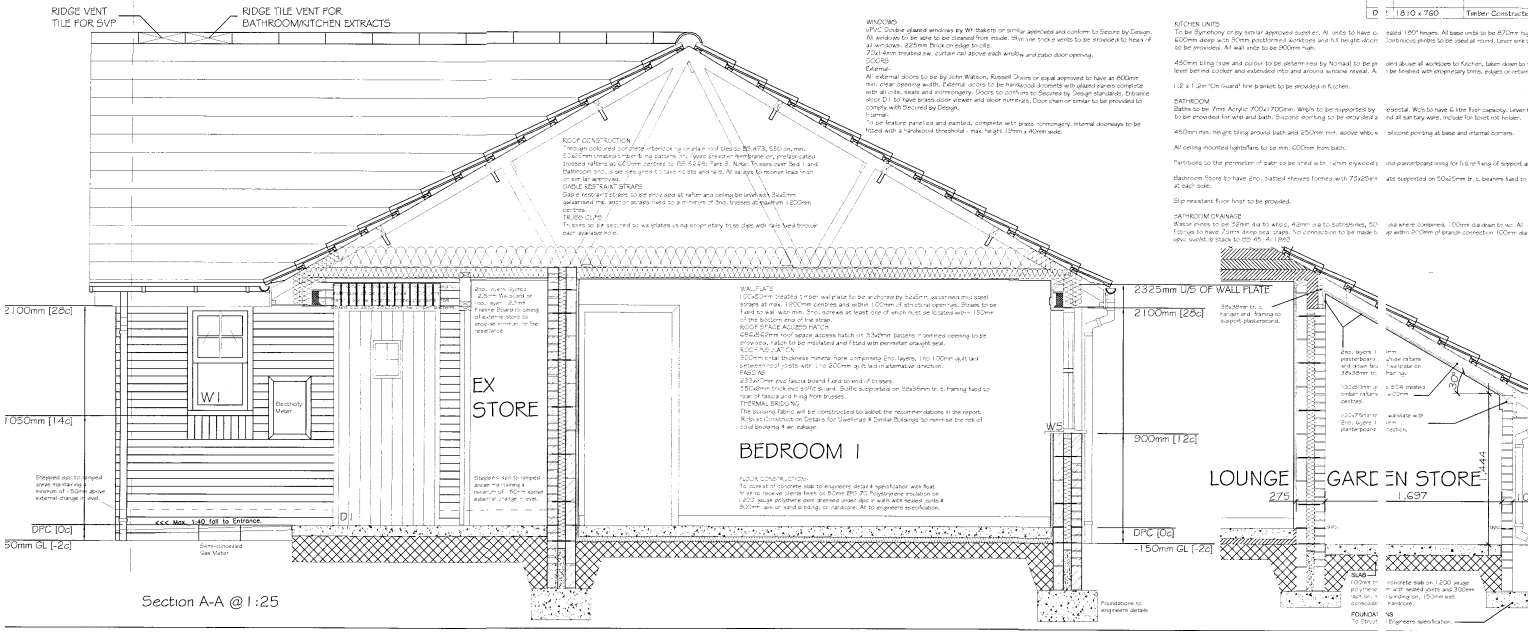
Rear Elevation @ 1:100



Side Elevation 1 @ 1:100



Side Elevation 2 @ 1:100



Section A-A @ 1:25

no.	Size (mm)	Location	Lintel	Notes
1	630 x 1050	Bathroom	SB EVC	Operable Glazing, Tracker unit - 4000mm
2	1200 x 1200	Lounge	SB EVC	Tracker unit - 4000mm
3	1200 x 1200	Lounge	SB EVC	Tracker unit - 4000mm
4	1800 x 1200	Bedroom 2	SB EVC	Tracker unit - 5000mm
5	1500 x 1200	Bedroom 1	SB EVC	Tracker unit - 5000mm

no.	Size (Door Leaf)	Location	Type	Lintel	Comments
D2	180 x 1063mm	Stair	John Watson	none	Style to be confirmed
D3	190 x 1063mm	Bathroom	John Watson	none	Style to be confirmed
D4	190 x 1063mm	Stair	John Watson	none	Style to be confirmed
D5	190 x 1063mm	Stair	John Watson	none	Style to be confirmed
D7	180 x 1063mm	Lounge	John Watson	none	Style to be confirmed
D8	190 x 1063mm	Bedroom 2	John Watson	none	Style to be confirmed
D9	190 x 1063mm	Bedroom 1	John Watson	none	Style to be confirmed

no.	Size (mm)	Location	Notes
R1	180 x 1063mm	Lounge	Timber door frame, door storage compartment with elevations
R2	180 x 1063mm	Bedroom 1	Timber door frame, door storage compartment with elevations

- F 24/10/05 Title block amended for clarity KT
- E 07/10/05 External Garden Store added to rear KR
- D 09/06/05 Revised in accordance with comments received from client 08/06/05 KT
- C 24/03/05 Revised in accordance with comments received from client KT
- B 17/03/05 Revised in accordance with comments received from client KT
- A 11/03/05 Revised in accordance with comments received from client KT

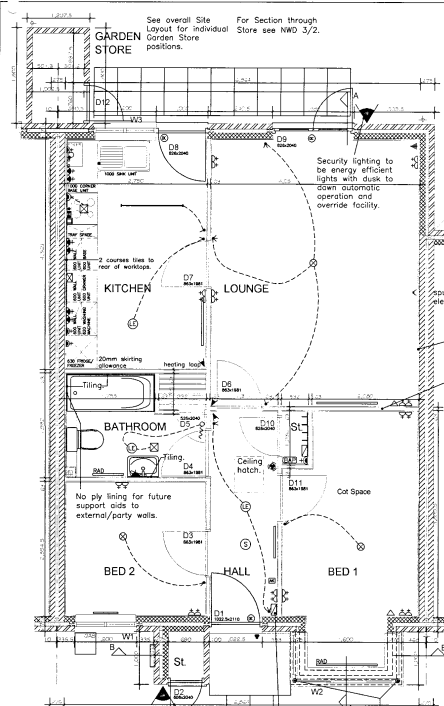
ST. JUDES, BARKER STREET, SHELDONFIELD, NEWCASTLE UPON TYNE, NE2 1AS  
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MANDALE, STOKTON  
NOMAD HOUSING ASSOCIATION

BUNGALOW TYPE 2  
WORKING DRAWING

PROJECT NO	MM	DRAWN BY	KT	CHECKED	
SCALE	VARIABLE	PROJECT NO		DRAWING NO	Rev F
DATE	JAN 2005		N81:1414		NWD/2/1
STATUS	DRAW	CONTRACT NO		CONTRACTOR	

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Floor Plan

See overall Site Layout for individual Garden Store positions.  
For Section through Store see NWD 3/2.

**BATHROOM**  
Lever taps to be provided for whb and both.  
Silicone pointing to be provided around all sanitary ware.  
Include for toilet roll holder.  
All ceiling mounted lights/fans to be min. 600mm from bath.  
Partitions around bath/whb/wc to be lined with 12mm plywood behind glassboard lining for future fixing of support aids.  
Bathroom Store to have 2no. slatted shelves formed with 75x25mm slots supported on 20x20mm tr. T. boeners fixed to wall at each side.

**TILING**  
2 courses of tiles to be provided above Bathroom sink + around bath.  
2 courses to be provided around Kitchen worktops.

**PARTY WALLS**  
Party walls to have Knauf Gypsum Parge Coating each side.

**INTERNAL PARTITIONS**  
To be 63mm studs with 15mm Soundbloc or equal approved screw fixed with taped joints. 15mm Moisture Resistant Boards to be used in all 'wet' areas.

**ELECTRICAL WORK**  
All wiring to be in accordance with current IEC Regulations.  
Burglar Alarm  
Wiring to be provided for Burglar Alarm system but hardware only to be fitted at discretion of Nomad Housing Association.

**EXTERNAL PAVING**  
450x450x35mm thick concrete paving slabs with grey sand joints, weighing less than 20kg to be used for external paved areas on 25mm bedding layer of clean sharp sand on 100mm sub-base.  
150mm gravel infill between paving and house to be 20mm fine gravel or 50mm consolidated coarse hoggin on 100mm consolidated hardcore.  
150mm wide gravel strip to be provided between slabs and building.

**EXTERNAL CAVITY WALL**  
275mm overall thickness external cavity wall comprising:  
102mm facing brickwork (FL durability) in accordance with BS3923 (city bricks) and BS5628 external leaf with bucket handle finish to mortar joints.  
75mm full fill cavity insulation.  
100mm thick internal blockwork.

**MOVEMENT JOINTS**  
Movement joints in external leaf to be filled with cellular polyethylene or foam rubber and sealed with an appropriate gun-applied sealant to match colour of facing bricks.  
Additional wall ties to be installed in the cavity wall at max. 225mm to each side of the joint at 225mm vertical centres in accordance with BS8103: part 2: 1998 and proprietary flat-strip debonded ties to be installed across joint at 450mm centres.

**PARTY WALLS**  
All party wall blockwork to be built through to inside face of external wall face as indicated and tied to internal leaf at 300mm vertical centres using wall ties of 400mm long expanded metal mesh - vertical joint to be fully mortar filled.  
External cavity at junction with party-wall to be fully-filled with 'Roxseal Acoustic Party Wall DPC'.  
Walls to be built up to underside of roof covering and fire stopped with mineral wool.  
Party walls to have Knauf Gypsum Parge Coating each side.  
All party walls to use Robust Detail E-WM-4 unless raft foundations are used.

**ROOF SPACE ACCESS/HATCH**  
666x562mm roof space access hatch on 33x9mm bottom in trimmed opening to be provided, hatch to be insulated and fitted with perimeter draught seal.

**SECURITY LIGHTING**  
To be energy efficient lights with dusk to dawn automatic operation and override facility.  
1350mm wide steel entrance area with max. 1m40 fall (front to back).  
Hepworth threshold drainage channel to discharge to each side of door openings.  
900mm wide flopped paving footpath to front door.  
Front door threshold/cill to be at least 10mm above internal finished conc level as separate threshold detail.

**WINDOWS**  
Double glazed windows by Whittakers or similar approved and conform to Secure by Design.  
All windows to be upvc and be able to be cleaned from inside.  
Slim line trickle vents to be provided to head of all windows, size as specified in adjacent window schedule.

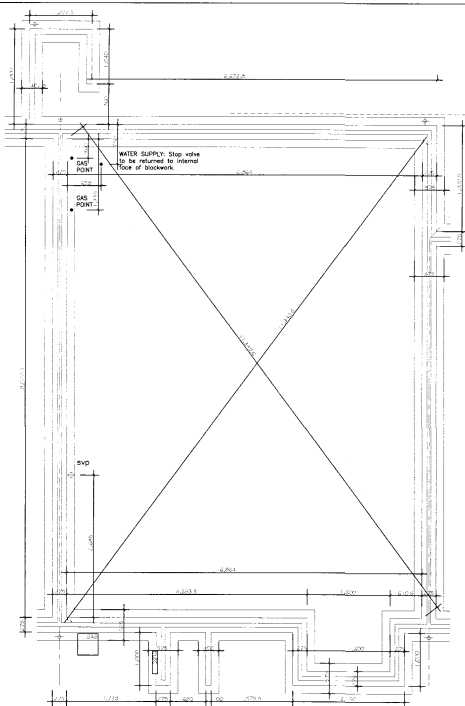
**KITCHEN UNITS**  
All units to have concealed 180° hinges.  
All base units to be 870mm high by 600mm deep with 30mm platformed worktops and full height doors.  
Continuous joints to be used all round.  
Lever sink taps to be provided to bungalow.  
All wall units to be 900mm high, edges or returns.

**POSTS**  
Tubular steel bay poles concealed in frames, or equal approved system window manufacturer.

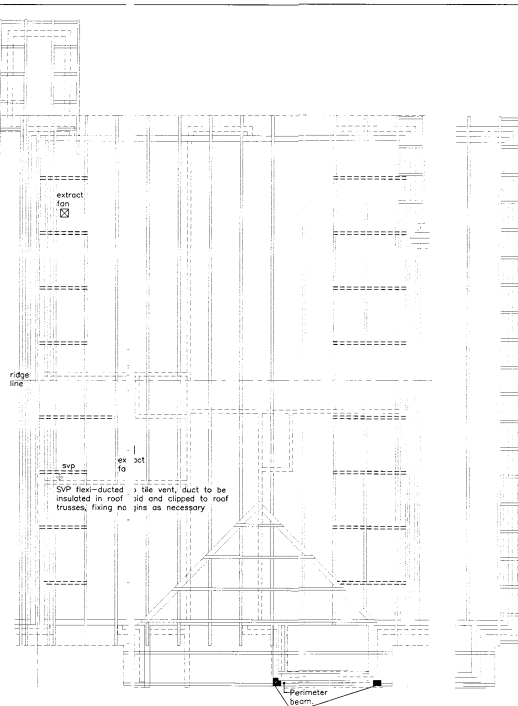
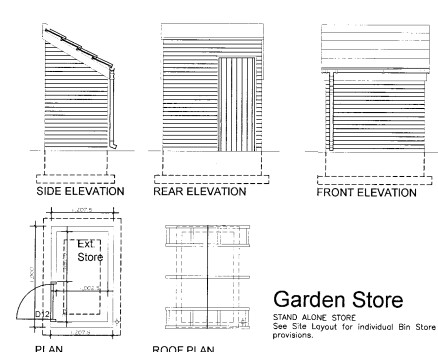
**DOORS**  
External.  
All external doors to be by John Watson, Russell Doors or equal approved to have an 800mm min. clear opening width.  
External doors to be hardwood doorsets with glazed panels complete with all oils, seals and ironmongery.  
Doors to conform to Secured by Design standards.  
Entrance door D1 to have brass door viewer and door numerals. Door chain or similar to be provided to comply with Secured by Design.  
Internal.  
To be feature panelled and painted, complete with brass ironmongery.  
Internal doorways to be fitted with a hardwood threshold - max. height 19x40mm wide.

**THERMAL BRIDGING**  
The building fabric will be constructed to adopt the recommendations in the report 'Robust Construction Details for Dwellings & Similar Buildings' to minimise the risk of cold bridging & air leakage.

**FOR FURTHER INFORMATION REFER TO NOMAD HOUSING ASSOCIATION STANDARD SPECIFICATION.**  
**ALL WORKS ARE TO BE CARRIED OUT IN STRICT ACCORDANCE WITH MANUFACTURERS INSTRUCTIONS.**



Foundation Plan



Roof Plan

Steel support plates to top and bottom of Bay support joists.  
**SUPPORT PLATES**  
2no. 125x50mm tr. timbers bolted together to form perimeter beam fixed to L shaped section to top and bottom of Bay support joist.  
Also see detail on drawing no.N81:1414 NWD 3/2.

NOTE:  
The roof plan is diagrammatic only for detailed layouts this drawing is to be read in conjunction with all relevant Architects drawings, Trade Manufacturer's drawings and calculations.

Window Schedule					
no.	Size (structure)	Location	Lintel	Notes	
W1	1200x1200	B 1 2	SB_EVC	Trickle vent = 800mm sq	
W2	x1200	B 1 1	SB_EVC	Trickle vent = 800mm sq	
W3	1200 x 1050	Kitchen	SB_EVC	Trickle vent = 400mm sq	

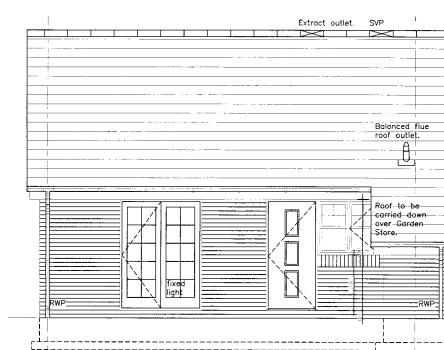
External Door Schedule					
no.	Size (structure)	Location	Lintel	Comments	
D1	2110 x 1027.5	Front	SB_EVC	None	
D2	2110 x 608	Front	SB_EVC	None	
D3	2110 x 1000	Front	SB_EVC	None	
D4	2110 x 1585	Front	SB_EVC	None	
D12	1810 x 760	Front	SB_EVC	LA out to suit	

Internal Door Schedule						
no.	Size (door leaf)	Location	Type	Lintel	Comments	
D3	863x1981mm	Bed 2	John Watson, Style to be confirmed	none	none	
D4	863x1981mm	Bath	John Watson, Style to be confirmed	none	none	
D5	526x2040mm	Bath St.	John Watson, Style to be confirmed	none	none	
D6	863x1981mm	Lounge	John Watson, Style to be confirmed	none	none	
D7	863x1981mm	Kitchen	John Watson, Style to be confirmed	none	none	
D10	826x2040mm	Hall St.	John Watson, Style to be confirmed	none	none	
D11	863x1981mm	Bed 1	John Watson, Style to be confirmed	none	none	

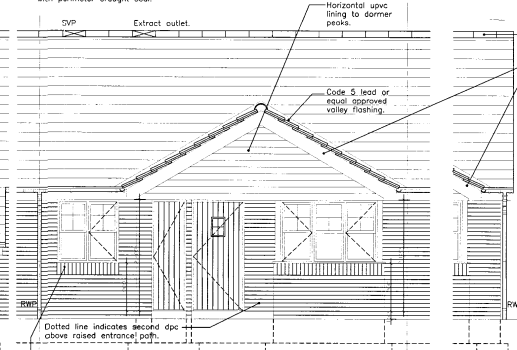
DO NOT SCALE  
All dimensions to be checked on site and Architect to be notified of any discrepancies prior to commencement

SYMBOL	DESCRIPTION
⚡	13 AMP TWIN SWITCHED SOCKET OUTLET
⚡	13 AMP SWITCHED SOCKET OUTLET
⚡	13 AMP SOCKET OUTLET
⚡	13 AMP TWIN SWITCHED SOCKET OUTLET ABOVE WORKTOP
⚡	13 AMP SWITCHED SOCKET OUTLET ABOVE WORKTOP
⚡	SWITCHED SPUR ABOVE WORKTOP CONTROLLING UNSWITCHED SOCKET BELOW WORKTOP
⚡	13 AMP SPUR UNIT
⚡	13 AMP SWITCHED SPUR UNIT
⚡	FLEX OUTLET PLATE
⚡	PULL CORD SWITCH
⚡	ONE WAY SWITCH
⚡	TWO WAY SWITCH
⚡	INTERMEDIATE SWITCH
⚡	TELEPHONE POINT
⚡	TELEVISION POINT
⚡	COOKER FLEX OUTLET PLATE(750MM ABOVE FFL)
⚡	COOKER SWITCH (1100MM ABOVE FFL)
⚡	CONSUMER SERVICE UNIT
⚡	SHAVEN POINT
⚡	CEILING LIGHTING POINT - BATTEN TYPE
⚡	CEILING LIGHTING POINT - PENDANT TYPE
⚡	WALL MOUNTED LIGHTING POINT
⚡	CEILING LIGHTING POINT - LOW ENERGY TYPE
⚡	DOOR CONTACT
⚡	ALARM KEY PAD
⚡	KITCHEN SPUR CONTROL UNIT
⚡	FLOUORESCENT LIGHT FITTING
⚡	EXTRACT FAN
⚡	BURGLAR ALARM PANEL
⚡	SMOKE DETECTOR
⚡	PASSIVE INFRARED SENSOR
⚡	DOOR BELL
⚡	DOOR BELL CHIMES

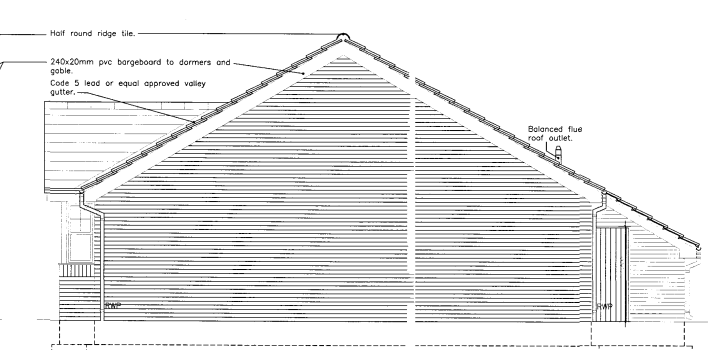
23 MAR 2007  
DATE RECEIVED



Rear Elevation



Front Elevation



Side Elevation

AMENDMENTS  
Rev A, 14.03.05: Revised in accordance with clients recommendations.  
Rev B, 18.03.05: Couring heights added, electric meter position moved, water supply repositioned in kitchen, opening lights shown and partition dimensions amended to 63mm.  
Rev C, 22.03.05: Structural posts added to Bay Window corners.  
Rev D, 08.05.05: Solder course indicated to external cills. Doors 3,4,6,7+11 amended to 863x1981mm. Bay Window support posts noted 'or equal approved system by window manufacturer'.  
Rev E, 09.06.05: Energy efficient dusk to dawn lighting indicated to front and rear with manual override. Door type references on schedule to D/8 + D/8 reversed.  
Rev G, 24.10.05: External Garden Store lean-to added and footpath revised to rear.

REVISION	DATE	DESCRIPTION	ISSUED

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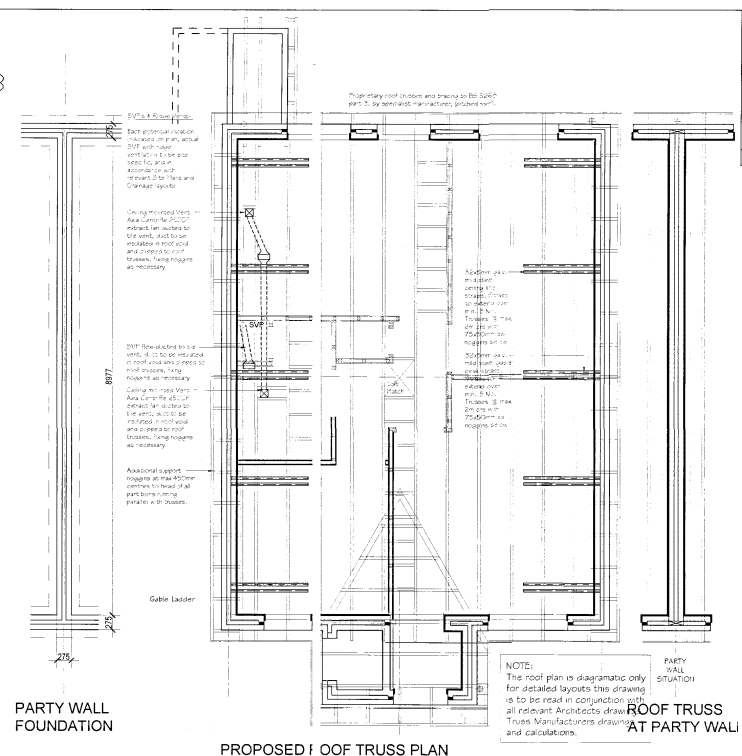
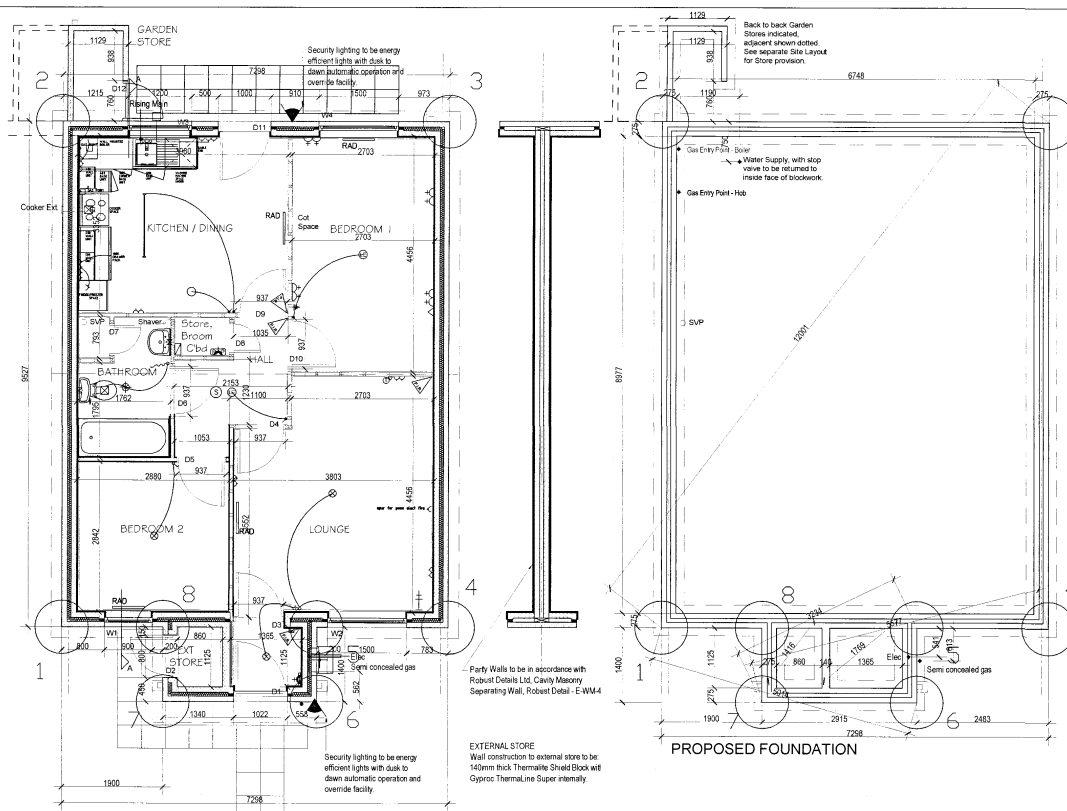
ST JUDES, BARKER STREET, SHIELDFIELD, NEWCASTLE UPON TYNE, NE2 1AS  
TEL (0191) 261 4442 FAX (0191) 261 1090 e-mail - info@spartanwp-northern.com

JOB CLIENT  
**MANDALE, STOCKTON**  
Nomad Housing Association

DRAWING TITLE  
**BUNGALOW TYPE 3**  
Working Drawing

PROJECT MM	DRAWN BY KR	CHECKED MM
SCALE 1:50	PROJECT NO. N81: 1414	DATE 09.02.05
DATE 09.02.05	PROJECT NO. N81: 1414	REVISION REV 3/1
DRAWN STATUS EMPTY	CORRECTION TO DO	CONSTRUCTION RECORD



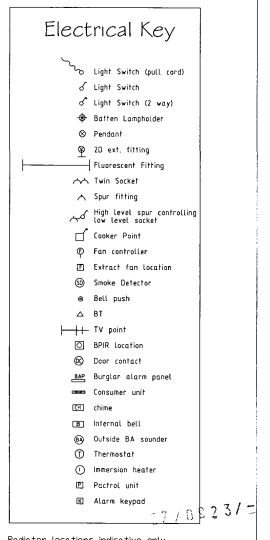


**DO NOT SCALE**  
All dimensions to be checked on site and Architect to be notified of any discrepancies prior to commencement

**DESIGNERS RISK ASSESSMENT**  
see table 10. Design and construction requirements

**RESIDUAL RISKS**

RIP	DESCRIPTION	DATE



Window Schedule					Internal Door Schedule					
no.	Opening (mm)	Location	Lintel	Notes	no.	Size (door leaf)	Location	Type	Lintel	Comments
W1	1200x	Bed 1	SB_90	Trickle vent	D3	863x1981mm	Lounge	John Watson Style to be confirmed	Stud	none
W2	1500 x 1050	Bed 2	SB_90	Trickle vent	D4	863x1981mm	Lounge	John Watson Style to be confirmed	Stud	none
W3	1200 x 1050	Kitchen	SB_90	Trickle vent	D5	863x1981mm	Bedroom 2	John Watson Style to be confirmed	Stud	none
					D6	863x1981mm	Bathroom	John Watson Style to be confirmed	Stud	none
					D7	533x1981mm	Bathroom St	John Watson Style to be confirmed	Stud	none
					D8	533x1981mm	Store	John Watson Style to be confirmed	Stud	none
					D9	863x1981mm	Kitchen / Dining	John Watson Style to be confirmed	Stud	none
					D10	863x1981mm	Bed 1	John Watson Style to be confirmed	Stud	none

External Door Schedule				
no.	Size (structural)	Type	Lintel	Comments
D1	2110 x 1022.5	Partially glazed	SB_90	none
D2	2110 x 850	Timber Construction	SB_90	none
D11	2110 x 1000	Partially glazed	SB_90	none
D12	1810 x 760	Timber Construction	LA	cut to fit

Window Schedule		Internal Door Schedule	
W1	1200x	D3	863x1981mm
W2	1500 x 1050	D4	863x1981mm
W3	1200 x 1050	D5	863x1981mm
		D6	863x1981mm
		D7	533x1981mm
		D8	533x1981mm
		D9	863x1981mm
		D10	863x1981mm

no.	Size (structural)	Type	Lintel	Comments
D1	2110 x 1022.5	Partially glazed	SB_90	none
D2	2110 x 850	Timber Construction	SB_90	none
D11	2110 x 1000	Partially glazed	SB_90	none
D12	1810 x 760	Timber Construction	LA	cut to fit